
F/YR21/0267/F

**Applicant: Mr Guy Burton
Bank Farm Ltd**

**Agent : Mr Ted Brand
Brand Associates**

Farm Building Bank Farm, Whittlesey Road, Benwick, Cambridgeshire

Change of use of agricultural building to 5 x 2-storey dwellings with detached shed and bin stores comprising of 2 x 3-bed and 3 x 2-bed and formation of a new access road

Officer recommendation: Grant

Reason for Committee: Parish Council comments are contrary to the officer recommendation.

1 EXECUTIVE SUMMARY

- 1.1 The application seeks full planning permission for the change of use of an existing agricultural barn to 5 dwellings.
- 1.2 The site lies outside the established footprint of Benwick.
- 1.3 The site has a detailed planning history, some of which is material to the consideration of this scheme.
- 1.4 The proposal offers no technical issues that can't otherwise be addressed through suitable worded planning conditions.
- 1.5 Furthermore, the development raises no significant issues in terms of visual or residential amenity harm, although it is recognised that some visual harm will occur to the countryside location through paraphernalia associated with the residential use.
- 1.6 The development would make an efficient use of an existing under-utilised building and would provide housing which is sustainably linked to the core of the village via a link to an existing footway, whereby residents would be able to access services and facilities, thereby supporting the local community.
- 1.7 The application is recommended for approval.

2 SITE DESCRIPTION

- 2.1 The site comprises c.0.2Ha of agricultural land which accommodates a single agricultural building constructed from a low brick plinth wall with corrugated grey wall cladding and cement fibre roof boards. The double doors to the front are steel doors to allow farm machinery access inside, with a small pedestrian door insert.
- 2.2 Open agricultural land is to the north and north-west of the building. A second agricultural building is located c.20m to the north east of the application site.

- 2.3 The River Nene runs to the south east of the building with residential dwellings backing onto the edge of river on the opposite bank (Neneside).
- 2.4 To the north-west of the building is a large area of hardstanding within the site area which is adjacent Whittlesey Road. To the south corner of the site is the bridge over the Nene which provides vehicular and pedestrian access.
- 2.5 The site lies in Flood Zone 3.

3 PROPOSAL

- 3.1 The application seeks full planning permission for the change of use of the agricultural building to achieve 5No. 2-storey dwellings. The centre 3 units accommodate 2 bedrooms, with the outer 2 incorporating 3 bedrooms, with all units including an upstairs bathroom. All dwellings include an open-plan lounge, kitchen/ dining area, utility room and downstairs W.C.
- 3.2 The proposal seeks to replace the existing asbestos cladding walls and roof panels with insulated grey panelling and to insert a number of windows and doors to all facets. The eaves are proposed to be raised slightly (which will lower the roof pitch) in order to accommodate first floor.
- 3.3 Externally, the site is proposed to be accessed via a new point of access at the south western corner of the site, via a previously permitted access track (yet to be implemented) with the current access proposed to be sealed off with a new hedge across the frontage. The existing concrete hardstanding at the front will be laid out to accommodate 10 parking spaces leading from the point of access at the south western corner of the site. Pedestrian access to the dwellings and individual bin stores are proposed along the north western edge of the site, with private gardens, secured via close boarded fencing proposed along the south eastern edge of the site.
- 3.4 A pedestrian access linking to the existing tarmacked footway on the southern edge of the site is proposed.
- 3.5 Each dwelling is proposed to be served by its own package treatment plant to manage foul waste
- 3.6 Full plans and associated documents for this application can be found at:
<https://www.fenland.gov.uk/publicaccess/>

4 SITE PLANNING HISTORY

Reference	Description	Decision
F/YR20/0376/F	Formation of new access road	Granted 22.06.2020
F/YR20/0029/PNC04	Change of use from agricultural building to 3 x 2-bed and 2 x 3-bed two-storey dwellings (Class Q (a) and (b))	Prior Approval granted 09.03.2020
F/YR19/0351/PNC04	Change of use from agricultural building to 3 x 2-bed and 2 x 3-bed two-storey dwellings (Class Q (a) and (b))	Prior Approval Refused 27.06.2019 Appeal Dismissed 27.12.2019
F/YR19/0023/PNC04	Change of use from agricultural building to 3 x 2-bed and 2 x 3-bed two-storey dwellings (Class Q (a) and (b))	Prior Approval Refused 01.03.2019
F/YR18/1040/F	Formation of new access in association with existing agricultural workshop	Granted 11.01.2019
F/YR15/0838/PNC04	Change of use of an agricultural building to 2 x 2-storey 4-bed dwellings and 1 x 2-storey 3-bed dwellings (Class Q (b))	Prior Approval Refused 13.11.2015
F/YR14/0205/F	Erection of 6 dwellings involving demolition of existing buildings	Withdrawn 01.05.2014

5 CONSULTATIONS

Benwick Parish Council

- 5.1 *In respect of planning application F/YR21/0267/F Change of use of agricultural building to 5 x 2-storey dwellings with detached shed and bin stores comprising of 2 x 3-bed and 3 x 2-bed and formation of a new access road, Farm Building Bank Farm Whittlesey Road Benwick Cambridgeshire, although Benwick Parish Council understand that this application is being applied through a dispensation for redundant agricultural buildings and we do not have any valid objections under planning regulations, we object to this work being authorised.*

We have the following objections:

1. *It is outside the village boundary with no supporting infrastructure or facilities.*
2. *It is a design with one intent, to maximize its financial return by squeezing as many housing units as possible into a small space irrespective of its location.*
3. *It is inconsistent with the vision that Benwick Parish Council are working with Fenland Council to develop a Year 2040 Vision of the village.*
4. *The village has an abundance of eyesore sites that need to be built on first.*
We strongly request that this application be rejected.

Cambridgeshire County Council Highways Authority

- 5.2 *The principle of development has already been consented (F/YR20/0029/PNC04).*

I have no highway objections.

[Following amendments for inclusion of pedestrian access point]
No highway objections subject to the following conditions;

Conditions;

- 1.) *1.5m metalled footpath (indicatively shown on plan XXX, details to be submitted pre-commencement and implemented in accordance with approved details prior to first occupation.*
- 2.) *Vehicular access to be implemented in accordance with previous planning consent.*
- 3.) *Existing access to be closed and reinstated to verge in accordance with details to be submitted and approved. To be implemented prior to first occupation.*
- 4.) *Parking and turning*

Environment Agency

- 5.3 *Please note that the application falls under Advice Note 6 of your Local Flood Risk Standing Advice.*

Environment Agency Position

We consider that the main source of flood risk at this site is associated with watercourses under the jurisdiction of the relevant Internal Drainage Board (IDB). As such, we have no objection to the proposed development on flood risk grounds. The IDB should be consulted with regard to flood risk associated with watercourses under their jurisdiction and surface water drainage proposals.

In all circumstances where flood warning and evacuation are significant measures in contributing to managing flood risk, we expect local planning authorities to formally consider the emergency planning and rescue implications of new development in making their decisions.

Middle Level Commissioners

- 5.4 *No comment received*

Cambridgeshire Fire & Rescue Service

- 5.5 *Should the Planning Authority be minded to grant approval, the Fire Authority would ask that adequate provision be made for fire hydrants, which may be by way of Section 106 agreement or a planning condition.*

Environment & Health Services (FDC)

- 5.6 *Comments are summarised due to the lengthy response but in summary;*

Raises concerns over lack of phase 1 ground investigation in view of evidence of underground fuel tank. Suggests a phase 2 intrusive ground investigation is required to establish risk and remediation requirements. Also raises concerns over the retention of the asbestos cladding. Should it be removed in part or in full this would need to be undertaken by a licensed contractor. Objects to the retention of asbestos on health risk grounds.

[Further comments received on 03.08.2021]

I have reviewed the proposal and the various comments/ information on file and would advise following our previous response, the full suite of contaminated conditions continue to apply due to the likely presence of contamination on site and absence of any information to suggest otherwise.

I note the comments regarding the presence of 'AC' and welcome the proposal to replace the AC cladding during the conversion to reduce risk and for the other reasons stated in the submitted information. In this regard, an informative will be

necessary to inform the developer of the need to observe current HSE guidance for the safe and effective handling, removal and disposal of the AC material.

Local Residents/Interested Parties

5.7 1 letter of objection received from resident at Neneside, raising the following concerns;

- Overlooking from upstairs windows
- Health and safety impacts of handling asbestos through the development

The resident adds;

“I would be very happy to see this old farm building re-used for residential, but would wish to see the windows perhaps realigned to solve my first issue, and very strict methods of working agreed by all before any work around the AC cladding takes place”

6 STATUTORY DUTY

6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014).

7 POLICY FRAMEWORK

7.1 **National Planning Policy Framework (NPPF)**
Chapter 11: Making effective use of land

7.2 **National Planning Practice Guidance (NPPG)**

7.3 **National Design Guide, 2019 & National Model Design Code, 2021**

Context

Identity

Built Form

Movement

Nature

Homes and Buildings

Resources

Lifespan

7.4 **Fenland Local Plan 2014**

LP1 – A Presumption in Favour of Sustainable Development

LP2 – Facilitating Health and Wellbeing of Fenland Residents

LP3 – Spatial Strategy, the Settlement Hierarchy and the Countryside

LP4 – Housing

LP12 – Rural Areas Development Policy

LP14 – Responding to Climate Change and Managing the Risk of Flooding in Fenland

LP15 – Facilitating the Creation of a More Sustainable Transport Network in Fenland

LP16 – Delivering and Protecting High Quality Environments across the District

7.5 **Supplementary Planning Documents/Guidance:**

- Delivering & Protecting High Quality Environments in Fenland SPD (2014)
- Cambridgeshire Flood & Water SPD (2016)

- RECAP CCC Waste Management Design Guide SPD (2012)

8 KEY ISSUES

- **Principle of Development**
- **Highways and parking**
- **Visual Amenity**
- **Residential Amenity**
- **Flood Risk and Drainage**
- **Ground Contamination and Asbestos**

9 BACKGROUND

- 9.1 The site has a comprehensive planning history, more recently with several applications for prior approval consent to convert the building into dwellings under what is now Schedule 2, Part 3, Class Q of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).
- 9.2 In 2020 prior approval was granted for the conversion of the barn into 5 dwellings. Subsequent to this, the applicant approached the LPA to establish whether, in view of the permission under Class Q, that if the asbestos sheeting were to be changed wholesale to insulated panelling, whether the LPA could favourably consider a full planning application. The applicant referred to the 'fall-back' position of the Class Q permission (see email exchange on public access dated 14th April 2021).
- 9.3 A review of the Class Q permission by the LPA revealed that the applicant had omitted to declare that they had already converted 3 dwellings within their agricultural holding (land west of the application site under F/YR16/111/PNC04). The PD rights under Class Q only permit for a total of 5 dwellings to be created within the same holding. As such, it is now Officers view that permitted development rights to convert this building into 5 dwellings does not exist and that the applicant would not be able to lawfully implement the Class Q permission previously approved.
- 9.4 As such, it is of Officers view that the 'fall-back position' to convert this building to 5 dwellings does not exist. However, it may be possible to convert the building into 2 dwellinghouses, thereby not exceeding the maximum of 5 dwellings per holding as set out under Class Q.1(d.ii) which is material to the subsequent considerations of this scheme before the LPA.

10 ASSESSMENT

Principle of Development

- 10.1 The site is considered to lie outside of the defined settlement of Benwick when considered against the criterion that guide this assessment, particularly under footnote of policy LP12 Part A, as it is clearly detached from the continuous built form of Benwick, most notably by the old river Nene. It is however acknowledged that the site is not 'isolated' with regard to paragraph 80 of the NPPF. As such, in terms of general new housing growth, the site would not be supported through the settlement strategy under LP3. However as this proposes to re-use an existing building, FLP policy LP12 Part B is relevant.
- 10.2 Policy LP12 Part B states that 'the re-use and conversion of rural buildings for residential use which are outside or not adjacent to the developed footprint of a

settlement' will only be supported where, amongst other specified criteria, the building is of significant architectural or historic merit and intrinsically worthy of retention in its rural setting'. The main barn subject of this pre-application enquiry is not considered to be of any architectural or historic merit, and would therefore not comply with policy LP12 Part B. The development is therefore in conflict with the FLP in this regard. The proposal therefore does not accord with local policy and it is necessary to establish whether any other material considerations exist that outweigh the policy objections to the scheme.

NPPF

- 10.3 Whilst there is clear conflict with FLP policy, Chapter 11 of the NPPF sets out the aims of making effective use of land and promoting and supporting the development of under-utilised land and building in meeting the need for homes and other uses, while safeguarding and improving the environment and ensuring safe and healthy living conditions. NPPF paragraph 80 also is permissive of redundant or disused buildings irrespective of their historic or architectural merits, providing the re-use leads to an enhancement in the immediate setting

Permitted Development

- 10.4 It is acknowledged that the proposal put forward does not strictly fall within the terms of conversion given the amount of development involved particularly with the proposed wholesale replacement of the asbestos walls and roof material. However, as set in the background section above, the conversion of the barn to residential use could likely result, were an application for prior approval to convert the barn to only 2 dwellings come forward – particularly as there were no technical restrictions to the residential use of the land e.g. in terms of drainage, flood risk, contamination etc.
- 10.5 Having regard to the latest NPPF which, to an extent supersedes the adopted policies of the FLP in respect of LP12 Part B, and the potential for some residential conversion of the barn under PD rights which can be afforded moderate weight, it is considered that the principle of the development is established.
- 10.6 Whilst the concerns of the Parish Council are noted, in respect of the proposal conflicting with the 2040 vision of the village, at present there is no adopted policy against which to weigh this at this time. As such no weight can be afforded to this.

Highways, Access and Travel

- 10.7 The Local Highways Authority (LHA) has considered the application against the previous Class Q approval and raises no objections. The development relies on an access track which runs north-westwards, parallel to the Whittlesey Road behind the established hedgerow, connecting to the existing access at White Farm. The existing agricultural access is proposed to be closed off. This access reconfiguration follows historic discussion and concerns raised by the LHA regarding the adequacy of the agricultural access for residential use, given its junction relative to the crest of the bridge and associated visibility issues. It would be necessary to ensure that the new access is fully completed and the agricultural access closed off to future residents prior to the first occupation of the development. This could be reasonably secured through planning condition.
- 10.8 In order to improve pedestrian access to the development, the applicant has proposed to tie into the existing footway adjacent to the site which will enable better access for pedestrians to the core of the village and will enable them to

cross the highway at the crest of the bridge thereby maximising visibility. This was otherwise unachievable through the constraints of the permitted development right.

- 10.9 The development proposes a policy-compliant level of parking and adequate on-site manoeuvrability and raises no concerns when considered against policy LP15.

Visual Amenity

- 10.10 The principle of barn conversions is that they maintain, as far as possible, the visual aesthetic of a barn, often in view of the fact that they exist in rural locations where the countryside and landscape should be protected, as set out in the preamble to policy LP12 of the Local Plan.
- 10.11 In this regard, the proposal seeks to make physical alterations to the building in respect of replacement walls and roof with anthracite grey seamed panelled sheets and the insertion of windows and doors. Whilst the external appearance will change through these works, it is considered that the overall scale and massing will still reflect the current barn and, in this regard, the general design of the building is considered to be acceptable having regard to policies LP12 Part B(c) and LP16(d).
- 10.12 The introduction of the bin stores along the north western boundary and the erection for the fencing to secure private garden along the south eastern side of the site will change the rural aesthetic of the site which weighs negatively against the scheme, although somewhat unavoidable in order to achieve the high levels of residential amenity as set out under policies LP2 and LP16. This negative effect is also balanced with the possibility of achieving some level of residential use of the site through permitted development rights which would, in any case most likely result in a domestic character to the site.
- 10.13 The applicant has however proposed to extend the hedgerow across the frontage of the site, and to clad the bin stores with trellis to enable some landscaping. These measures would likely reduce the residential impact of the development and it recommended that a condition securing further details and implementation of soft landscaping is imposed, in order to ensure that the development responds to the rural character of the area as much as possible.

Residential Amenity

- 10.14 The development achieves adequate levels of amenity for future occupiers, with the fenestration enabling good natural daylight and acceptable private amenity space. The bin stores enable adequate waste sorting and storage. It is recommended to ensure that the pedestrian footway is surfaced in a bound material given the reliance on this route to present wheeled bins for weekly collection. This can be reasonably secured via planning condition.
- 10.15 In summary it is concluded that the development would achieve an acceptable living environment for future occupiers.
- 10.16 The resident at Neneside has raised concerns of potential overlooking into their property from the development. In this regard there are 1st floor windows proposed which will face onto the rear garden at Neneside. However, these are positioned c.36m to the rear boundaries of properties at Neneside (48m to the nearest dwellinghouse) which exceeds general standards of 20-22m window to window. In this regard therefore, Officers do not consider that the development

would result in any significant adverse effects on residential amenity – neither through the slight change of outlook likely to be experienced by residents at Neneside. Other than properties at Neneside, there are no other residential dwellings in the vicinity of the site that are anticipated to be adversely affected by the development.

Flood Risk and Drainage

10.17 The site lies in Flood Zone 3 and therefore at high risk of flooding. As the proposal is for change of use, the application of the sequential test is not required as set out in the NPPF and the Council's Flood and Water SPD. Notwithstanding this, the applicant has provided a flood risk assessment to accompany the scheme which sets out that floor levels should be set at 150mm from existing floor level and that occupiers should sign up to the Environment Agency's flood line warning service.

10.18 The EA has also recommended that the LPA considers the evacuation and rescue implications associated with this development. In this regard, the development comprises 2-storey thereby providing safe refuge for occupiers should it be required. Furthermore, given that flood depth of around 150mm are anticipated in an extreme event, it is not anticipated that future occupiers would become stranded within their properties and should be able to make their way to the core of the village, which is at a lower flood risk level, should this be required. Notwithstanding this, in the interests of enabling awareness for future occupiers, it is recommended to secure a scheme for emergency evacuation procedures in an extreme flood event, which can be reasonably achieved through a planning condition.

10.19 The scheme indicates that each dwelling would be served by independent package treatment plants and that surface water would be managed (as it currently is) by discharging directly to the adjacent watercourse. Whilst the surface water discharge is not anticipated to substantially change, in order to ensure a satisfactory means of foul drainage is achieved, it is recommended that a condition is imposed requiring further details in this regard, should the application be approved.

Ground Contamination and Asbestos

10.20 The Council's Environmental Health team previously identified the presence of an underground fuel tank, which is not uncommon in such scenarios and have requested that full ground investigations are carried out and a scheme of remediation is agreed. It is necessary to require this information and for any remediation to be completed prior to the first occupation of the development in the interests of public health. In this regard, as was the case with the previous permission, a planning condition requiring full details of contaminated land investigations and remediation is recommended should the application be approved.

10.21 Concerns have also been raised with regards to the existing asbestos sheeting on the building. The planning statement makes it unclear whether this sheeting is to remain or not, however the application form clearly states that the external cladding and roofing material is to be replaced with TATA Steel 'Colorcoat Urban' steel profile panels and the elevation details also denote this, which would form part of the approved documents should the application be approved. As such, Officers understand that the proposal is to remove all known asbestos panelling.

10.22 This process would need to be undertaken by a licensed contractor under current HSE requirements and would therefore sit outside of planning controls. Notwithstanding this, it is recommended to include an informative, notifying the developer of this requirement on the planning decision notice, should the application be approved.

11 CONCLUSIONS

11.1 The development would make an efficient use of an existing under-utilised building and would provide housing which is sustainably linked to the core of the village whereby residents would be able to access services and facilities, thereby supporting the local community. The scheme presents no technical issues, subject to satisfying matters of contamination and would achieve adequate levels of amenity for future occupiers without compromising that of existing residents. Finally, the site would be served by safe and effective access and the development would not result in severe visual harm to the rural character of the area, subject to a satisfactory scheme of soft landscaping.

11.2 It is considered that the scheme would achieve a sustainable form of development for which there is a presumption in favour of and is therefore recommended for approval.

12 RECOMMENDATION

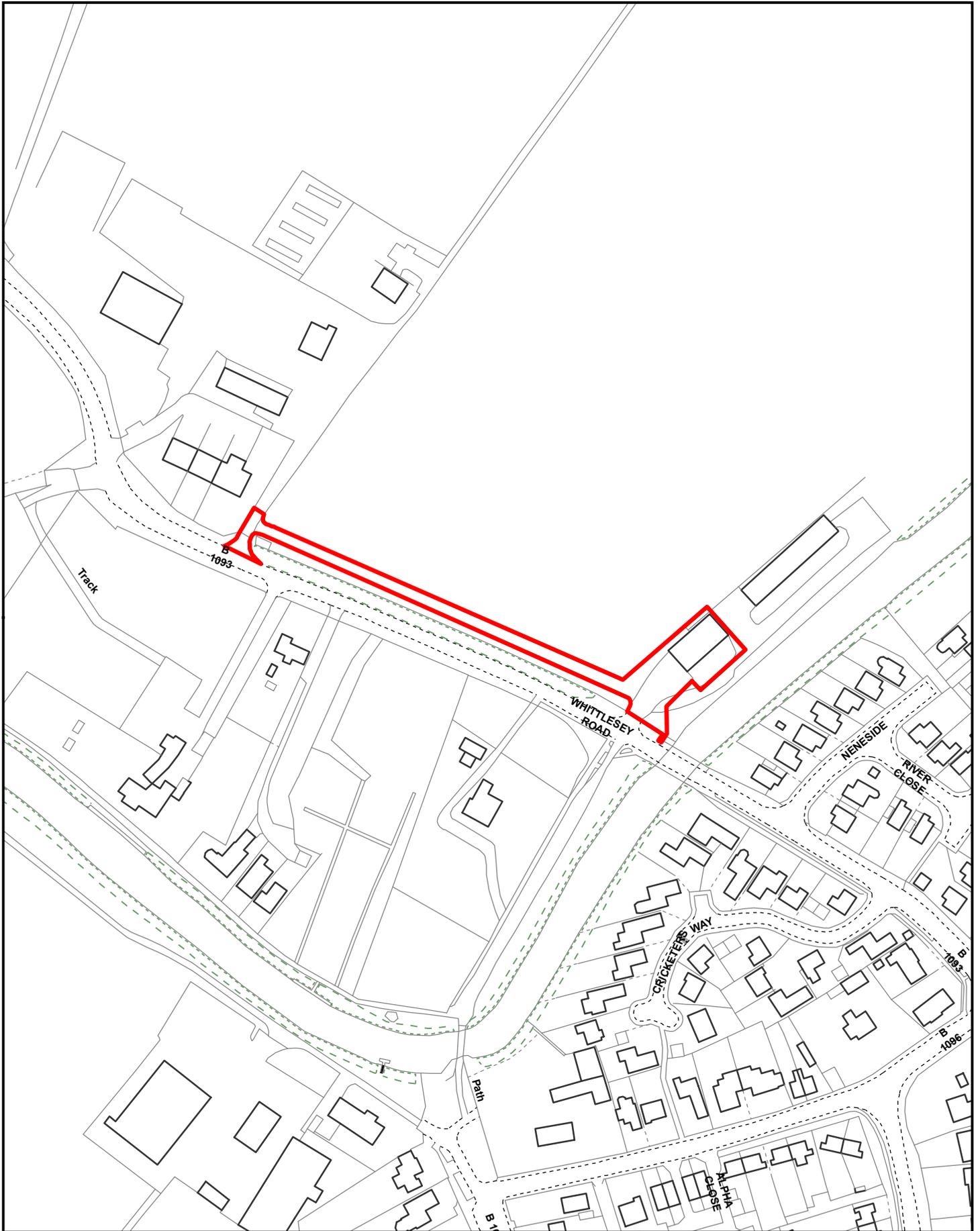
12.1 Grant subject to the following conditions;

1	The development permitted shall be begun before the expiration of 3 years from the date of this permission.
2	<p>No ground works or occupation of the development shall proceed until a scheme and timetable to deal with contamination of land and/or groundwater has been submitted to and approved in writing by the Local Planning Authority ('LPA'). The approved scheme and timetable shall then be implemented on site. The scheme shall include all of the following measures unless the LPA dispenses with any such requirement specifically and in writing:</p> <p>1. A desk-top study carried out by a competent person to identify and evaluate all potential sources and impacts of land and/or groundwater contamination relevant to the site. This should include a conceptual model, and pollutant linkage assessment for the site. Two full copies of the desk-top study and a non-technical summary shall be submitted to and approved in writing by the LPA.</p> <p>IF during development any previously unsuspected contamination is discovered then the LPA must be informed immediately. A contingency plan for this situation must be in place and submitted with the desk study. If a desk study indicates that further information will be required to grant permission then the applicant must provide to the LPA:</p> <p>2.A site investigation and recognised risk assessment carried out by a competent person, to fully and effectively characterise the nature and extent of any land and/or groundwater contamination, and its implications. The site investigation shall not be commenced until:</p> <p>(i) A desk-top study has been completed, satisfying the requirements of paragraph (1) above. (ii) The requirements of the LPA for site investigations have been fully established, and</p>

	<p>(iii) The extent and methodology have been submitted to and approved in writing by the LPA. Two full copies of a report on the completed site investigation shall be submitted to and approved in writing by the LPA.</p> <p>Following written LPA approval of the Site Investigation the LPA will require:</p> <p>3. A written method statement for the remediation of land and/or groundwater contamination affecting the site. This shall be based upon the findings of the site investigation and results of the risk assessment. No deviation shall be made from this scheme without the express written agreement of the LPA.</p> <p>4. The provision of two full copies of a full completion report confirming the objectives, methods, results and conclusions of all remediation works, together with any requirements for longer-term monitoring and pollutant linkages, maintenance and arrangements for contingency action shall be submitted and approved in writing by the LPA.</p> <p>Reason: To control pollution of land or water in the interests of the environment and public safety in accordance with the National Planning Policy Framework, in particular paragraphs 178 and 179.</p>
3	<p>Details of the external finishes of all windows and doors proposed for the development shall be submitted to and approved in writing by the Local Planning Authority prior to first occupation.</p> <p>The development shall be carried out in accordance with the details approved.</p> <p>Reason: In the interests of visual amenity in accordance with Policies LP12 and LP16 of the Fenland Local Plan, 2014.</p>
4	<p>Details of the foul drainage method including management and maintenance details shall be submitted to and approved in writing by the Local Planning Authority.</p> <p>The approved foul drainage strategy shall be implemented in accordance with the approved details prior to the first occupation of the development.</p> <p>Reason: To ensure a satisfactory method of foul water drainage and to prevent the increased risk of pollution to controlled waters in accordance with the National Planning Policy Framework and Policy LP14 of the Fenland Local Plan 2014.</p>
5	<p>Prior to the first occupation of the development, a scheme for the provision of fire hydrants or an alternative method of fire safety shall be submitted to and approved in writing by the Local Planning Authority.</p> <p>The approved details shall be fully implemented prior to the first occupation of the development and thereafter maintained in perpetuity.</p> <p>Reason: In the interests of the safety of the occupiers and to ensure there are available public water mains in the area to provide for a suitable water supply or an alternative strategy in accordance with policy LP2 and/or LP13 of the Fenland Local Plan 2014.</p>
6	<p>Prior to the first occupation of the development, a flood warning and evacuation scheme shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include the following details;</p> <p>- Confirmation that all future occupiers will be signed up to the Environment Agency Flood Warning system;</p>

	<p>- A plan detailing an evacuation route to a place of safe refuge in the event of a flood warning and confirmation that this will be passed onto all future occupiers.</p> <p>The development shall be carried out in accordance with the approved details prior to first occupation.</p> <p>Reason: In order to provide an acceptable standard of flood resilience and safety to the development in accordance with policies LP2 and LP14 of the Fenland Local Plan, 2014.</p>
7	<p>Prior to the first occupation of the development a scheme of soft landscaping shall be submitted to an approved in writing by the Local Planning Authority. The scheme shall include the following;</p> <ul style="list-style-type: none"> - Species and density of plants, hedgerow, trees and shrubs - Long term management and maintenance details <p>All soft landscape works shall be carried out in accordance with the approved details. All planting seeding or turfing and soil preparation comprised in the above details of landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings, the completion of the development, or in agreed phases whichever is the sooner. Any trees or shrubs which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species. All landscape works shall be carried out in accordance with the guidance contained in British Standards, unless otherwise agreed in writing by the Local Planning Authority.</p> <p>Reason: To ensure proper implementation of the agreed landscape details in the interest of the amenity value of the development in accordance with Policy LP16 of the Fenland Local Plan, 2014.</p>
8	<p>Details of the access closure to Whittlesey Road as detailed on plan reference BAN.18.02:1 Revision E shall be submitted to and approved in writing by the Local Planning Authority. The access shall be closed in accordance with the approved details prior to the first occupation of the development.</p> <p>Reason: In the interests of highway safety in accordance with Policy LP15 of the Fenland Local Plan, 2014</p>
9	<p>Full details of a 1.5m wide (minimum) footpath linking each entrance door to the footway along Whittlesey Road as shown indicatively on plan reference BAN.18.02:1 Revision E shall be submitted to and approved in writing by the Local Planning Authority.</p> <p>The footpath shall be provided in accordance with approved details prior to first occupation and thereafter maintained in perpetuity.</p> <p>Reason: To ensure a satisfactory means of pedestrian access to the development in accordance with policies LP2 and LP15 of the Fenland Local Plan, 2014.</p>
10	<p>The development hereby approved shall not be occupied until the access arrangement as permitted under permission reference F/YR20/0376/F has been completed in full.</p>

	Reason: In order to ensure safe and effective access to the development in accordance with policy LP15 of the Fenland Local Plan, 2014.
11	<p>The parking and turning areas as detailed on plan reference BAN.18.02:1 Revision E shall be laid out in accordance with the approved details prior to the first occupation of the dwelling and thereafter retained for that purpose for the lifetime of the development.</p> <p>Reason: In the interests of highways safety and amenity in accordance with policy LP15 of the Fenland Local Plan, 2014.</p>
12	<p>The external walls and roof of the development shall be finished in TATA Steel Colorcoat Urban Anthracite sheet as detailed on plan reference BAN.2.2 Revision K.</p> <p>Reason: For the avoidance of doubt and to ensure a satisfactory appearance of the development in accordance with policies LP12 and LP16 of the Fenland Local Plan, 2014.</p>
13	<p>The floor levels of the development shall be set at 150mm above existing workshop level.</p> <p>Reason: In order to provide an acceptable standard of flood resilience to the development in accordance with Policies LP2 and LP14 of the Fenland Local Plan, 2014.</p>
14	<p>Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) (England) Order 2015, (or any Order or Statutory Instrument revoking and re-enacting that Order with or without modification), planning permission shall be required for the following developments or alterations:</p> <p>i) alterations including the installation of additional windows or doors, including dormer windows or roof windows (as detailed in Schedule 2, Part 1, Classes A and B);</p> <p>ii) alterations to the roof of the dwellinghouse (as detailed in Schedule 2, Part 1, Class C);</p> <p>iii) the erection of any walls, fences or other means of enclosure (as detailed in Schedule 2, Part 2, Class A), other than those approved through this permission.</p> <p>Reason: To safeguard the visual and residential amenities of the area in accordance with policies LP12 and LP16 of the Fenland Local Plan, 2014.</p>
15	The development hereby permitted shall be carried out in accordance with the approved plans and documents



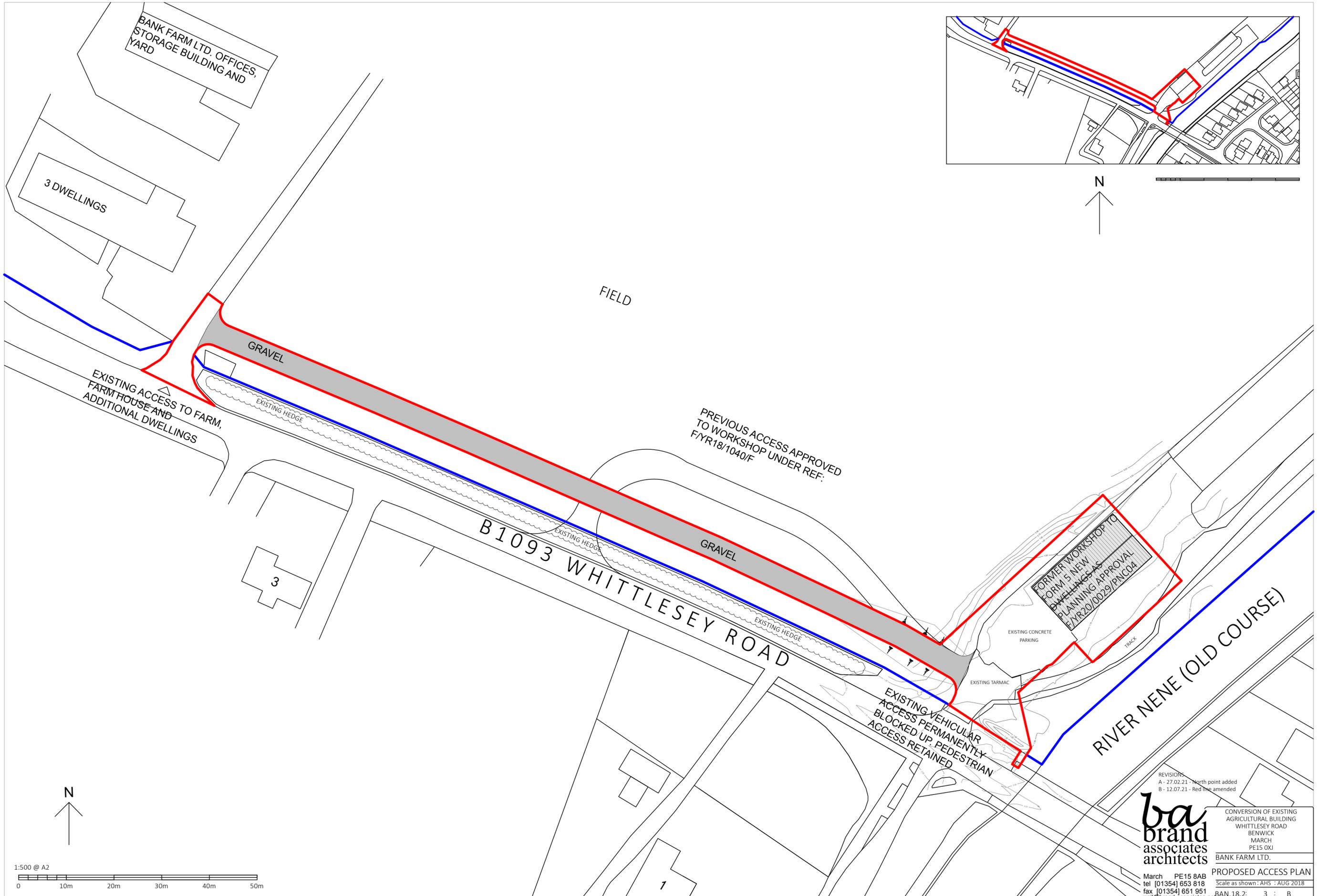
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F/YR21/0267/F

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BANK FARM LTD. OFFICES,
STORAGE BUILDING AND
YARD

3 DWELLINGS

FIELD

GRAVEL

EXISTING ACCESS TO FARM,
FARM HOUSE AND
ADDITIONAL DWELLINGS

3

B1093 WHITTLESEY ROAD

GRAVEL

PREVIOUS ACCESS APPROVED
TO WORKSHOP UNDER REF:
FYR18/1040/F

FORMER WORKSHOP TO
FORM 5 NEW
DWELLINGS AS
PLANNING APPROVAL
FYR20/0029/PNC04

EXISTING CONCRETE
PARKING

EXISTING TARMAC

EXISTING VEHICULAR
ACCESS PERMANENTLY
BLOCKED UP. PEDESTRIAN
ACCESS RETAINED

RIVER NENE (OLD COURSE)



REVISIONS
A - 27.02.21 - North point added
B - 12.07.21 - Red line amended

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CONVERSION OF EXISTING
AGRICULTURAL BUILDING
WHITTLESEY ROAD
BENWICK
MARCH
PE15 0XJ
BANK FARM LTD.

PROPOSED ACCESS PLAN
Scale as shown: AHS : AUG 2018
BAN.18.2: 3 : B



NOTES

- Individual packaged treatment plants for foul drainage to each dwelling.

KEY

- P - Parking Space - min. 2.4m x 5m per car.
- Existing concrete slab extended.
- Top soil/ Grass/ Garden planting.
- Paving slabs
- Block paviors
- Gravel
- New Trees
- New native species hedge
- Existing hedge
- 1.8m high close boarded timber fence
- 1.8m - 0.9m sloping timber fence
- 0.9m high timber palisade fence



LOCATION PLAN
SCALE 1:1250

Licence number
100022432

NEW PRIVATE ACCESS ROAD
Approved Under:
F7/R20/0376/JF

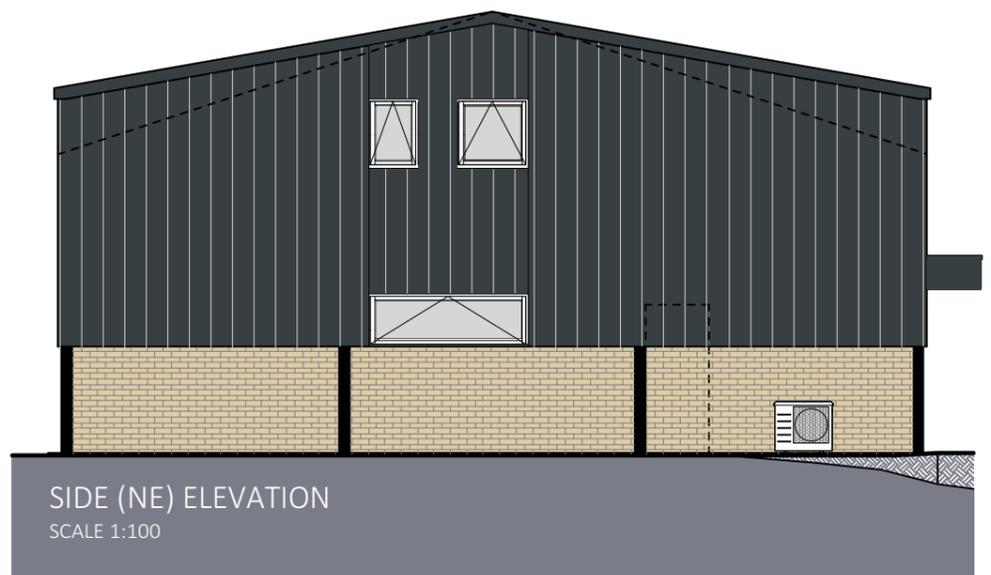
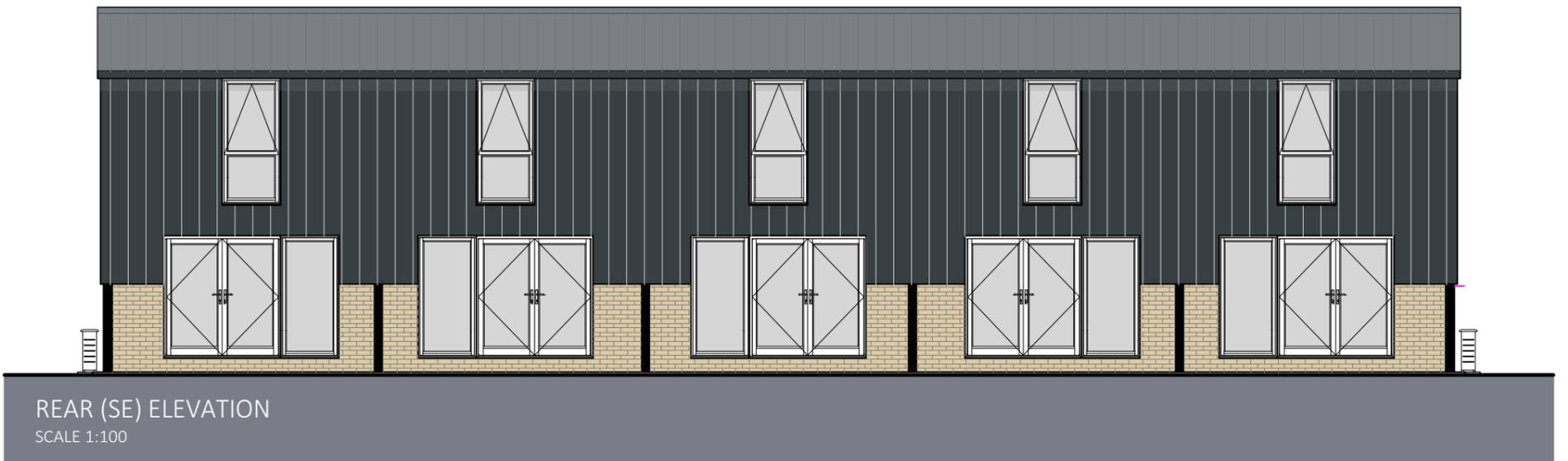
- REVISIONS**
- C - 23.11.20 - Landscaping amended.
 - D - 21.12.20 - Site boundary added.
 - E - 12.07.21 - Pedestrian access amended.

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SITE PLAN
Scale as shown: AHS : AUG 2018
BAN.18.2: 1 : E



1:200 @ A3
TRIM ELDER
BUSHES IF NEEDED



 - TATA STEEL, COLOURCOAT URBAN, ANTHRACITE (RAL 7016)

 - INDICATES GROUND LEVEL TO BE BUILT UP

1:100 @ A3



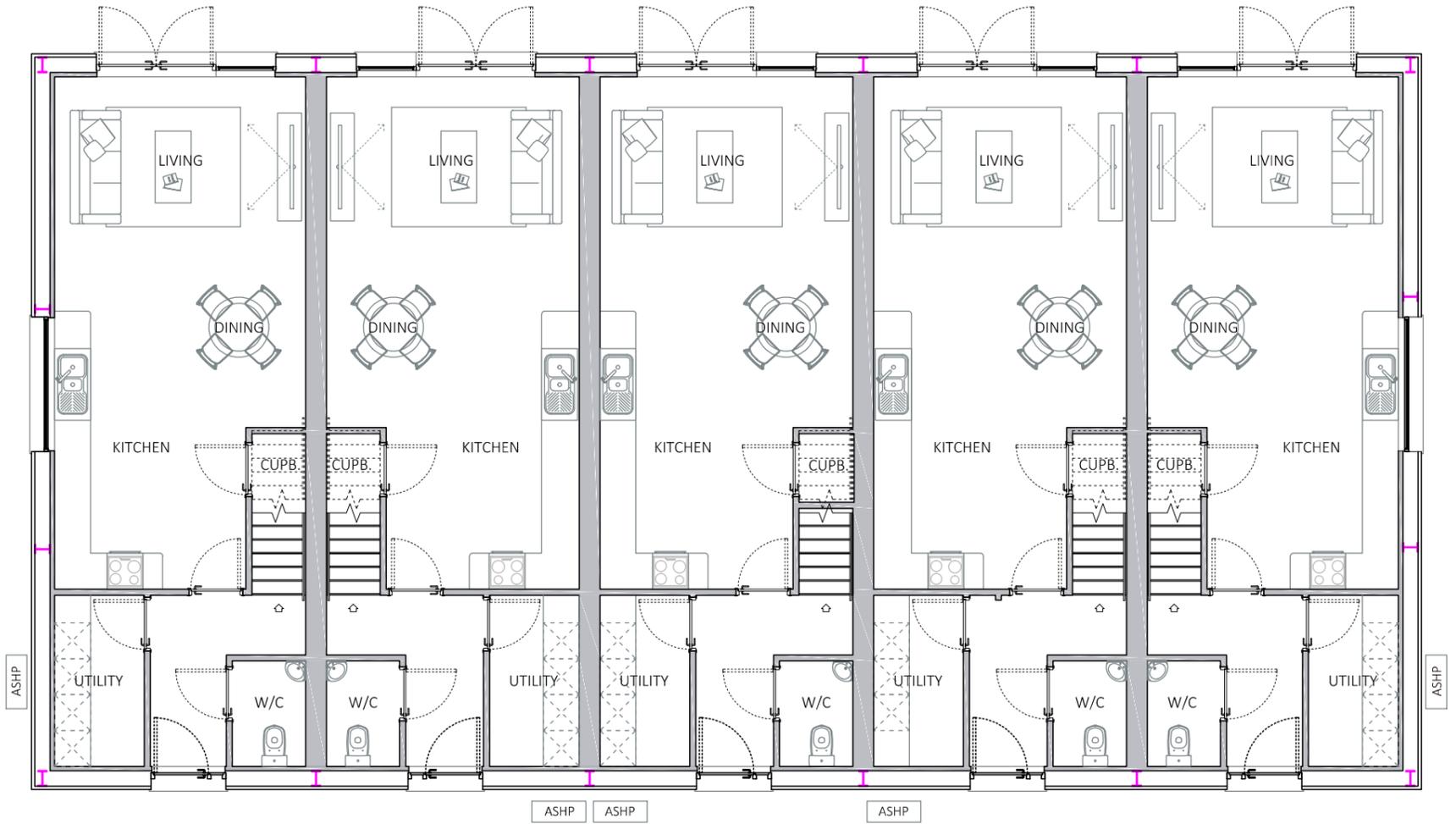
REVISIONS
 H - 16.12.20 - Gable end windows amended.
 J - 21.12.20 - Cladding hatch amended.
 K - 27.02.21 - ASHP added to front & rear elevation.

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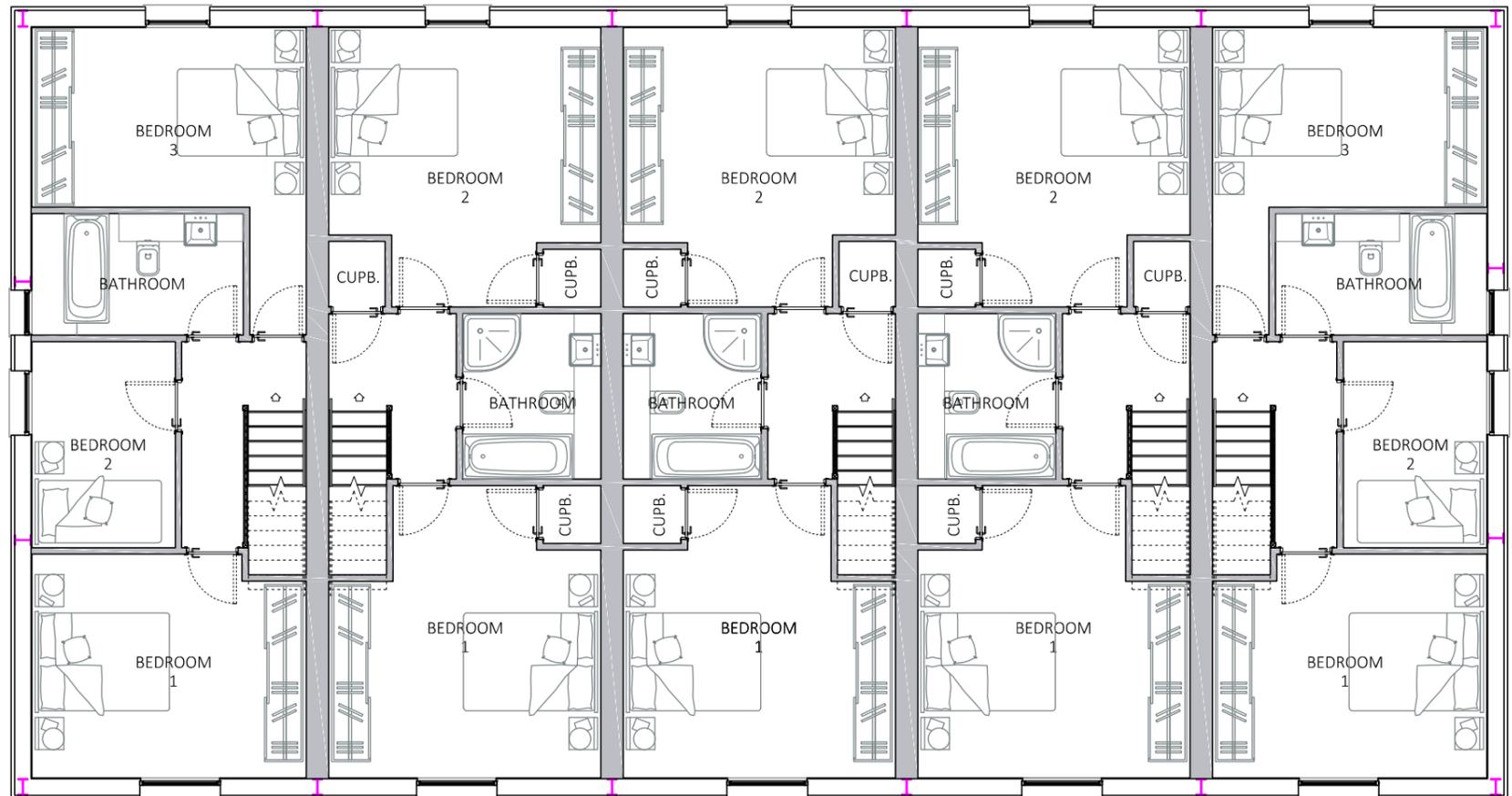
PROPOSED ELEVATIONS

1:100 : AHS : AUG 2020
 BAN.18.2: 2.2 : K



GROUND FLOOR PLAN

SCALE 1:100



FIRST FLOOR PLAN

SCALE 1:100

REVISIONS
C - 14.12.20 - Entrance halls and side windows amended.



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CONVERSION OF EXISTING AGRICULTURAL BUILDING WHITTLESEY ROAD BENWICK MARCH PE15 0XJ BANK FARM LTD.
PROPOSED ELEVATIONS 1:100 : AHS : AUG 2020 BAN.18.2: 2.1 : C