

Applicant: TP24 Ltd

Agent : Mr Tom Nellist
Trundley Design Services

TP24, West Park Street, Chatteris, Cambridgeshire PE16 6AH

Conversion of existing buildings to form 7 x dwellings, comprising of: 1 x 3-bed 2-storey house and 6 x flats (4 x 1-bed & 2 x 2-bed) and erect an approx 2.1m high brick wall and 1.2m high front boundary wall and railings

Officer recommendation: Grant

Reason for Committee: Chatteris Town Council comments are contrary to Officer recommendation.

1 EXECUTIVE SUMMARY

- 1.1 The application seeks to convert the former chapel building to residential use comprising 6 x flats and a dwellinghouse.
- 1.2 The site lies close to the town centre of Chatteris and within the Conservation Area.
- 1.3 The application has undergone several revisions following negotiation, most notably to reduce the quantum of the development, to accommodate secure cycle storage within the envelope of the building, improvements to the frontage, amendments to the rear dwelling and outbuilding uses and glazing to the side windows.
- 1.4 The principle of developing this site is supported by Policy LP3 and LP4 which seeks to direct growth to the main Market Towns in the district. The layout and design of the development is considered acceptable having regard to the general character of the area. The proposal is not considered to have a significant detrimental impact on the surrounding properties and raises no technical issues.
- 1.5 As such the application is recommended for approval subject to conditions.

2 SITE DESCRIPTION

- 2.1 The site lies in the Conservation Area of Chatteris, approximately 60m south of the town centre boundary and on the eastern side of West Park Street. Grade II Listed buildings can be found c.20m to the north, west and south west of the premises and beyond. The site comprises a former Baptist Chapel built c.1835 which sits back around 12m from the highway and incorporates many original features e.g. brickwork, rear arched windows and slate roof, but also incorporates modern uPVC windows and doors at the front and along the flank walls.
- 2.2 The building almost fills the entire width of the plot save for a c.0.9m wide passageway which runs along the southern side leading to the rear of the building

which opens into a small courtyard. Within this courtyard along the eastern boundary a detached single-storey building remains and retains many of its original features.

- 2.3 A large, open, metalled surfaced front yard area exists which leads onto the highway. The site is bounded by 1.8m high fences along its northern and southern boundaries, the aforementioned detached building at the rear screens the eastern boundary and the site remain open along its front, western boundary.
- 2.4 The building has most recently been in use as a lighting store and showroom (TP24).

3 PROPOSAL

- 3.1 The application seeks full planning permission for the conversion of the building to accommodate 6 flats and 1 house. The ground floor of the main building is proposed to accommodate 3 flats (1 x 2-bed and 2 x 2-bed) and a front lobby area with secure cycle storage. A communal lobby is located along the southern facet enabling 1st floor access to 3 flats (1 x 2-bed and 2 x 2-bed)
- 3.2 The rear of the building accommodates the 3-bed house which utilises the roof-space to provide the first floor bedroom accommodation and is proposed to be attached to the rear outbuilding via a flat-roofed extension which provides a further 2 bedrooms, bathroom and study/ garden room. The house is served by a private courtyard/ garden area. Rooflights are proposed in both the outbuilding and main building to the house to enable natural daylight to enter.
- 3.3 At the front of the building, the yard area is proposed to incorporate a communal bin store, screened from the public realm by a 1.5m high hit and miss fence enclosure. A visitor bike store is also proposed with details to be agreed and the surfacing of the yard area and side passage is proposed to be finished in block paviours, with a pathway delineated by a different paviour (details also to be agreed). The frontage where it meets the highway is proposed to include a 1.2m high boundary comprising 700mm of brick wall with 500mm of railing top. Brick piers are proposed either side of the access. A new section of 2.1m high brick wall is proposed along the southern boundary and soft landscaping by way of ornamental trees are proposed to provide a formal architectural element to the scheme.
- 3.4 The application has undergone several revisions following negotiation, most notably to reduce the number of properties by 1 dwelling, to accommodate an internal cycle store, improvements to the frontage, amendments to the rear dwelling and outbuilding uses and glazing to the side windows.
- 3.5 Full plans and associated documents for this application can be found at:
<https://www.fenland.gov.uk/publicaccess/>

4 SITE PLANNING HISTORY

Reference	Description	Decision
F/93/0385/F	Change of use of existing chapel to premises for the storage of furniture and furnishings	Granted 31.01.1994

5 CONSULTATIONS

Chatteris Town Council

5.1 [Originally commented]:

Recommend Refusal, over development within the building, unsympathetic conversion, minimum standards are not acceptable. Lack of parking will also be a problem as the road outside already has parking problems. The concerns of the fire service should be taken into consideration.

[Following amended plans July 2021]:

Chatteris Town Council stands by its original decision to recommend refusal of this application. This is an overdevelopment of the site and members are convinced that the absence of any parking provision will lead to major difficulties in the area. Parking is already a problem in that area and potential residents will not use the towns car parks - which only allow parking for a maximum of 24 hours - and walk to the site. They will park on the streets nearby which are already crowded with cars. Members also remain concerned about the access for emergency vehicles bearing in mind the Fire Service's comments.

Cambridgeshire Fire & Rescue Service

5.2 [Originally commented]:

From the information given, access for fire appliances may be considered inadequate. Access and facilities for the Fire Service should be provided in accordance with the Building Regulations Approved Document B5, Volume 1: Dwellings, Section: 13 Vehicle Access. The responsibility for approving access and facilities for the Fire Service rests with the Building Control Department of the Local Authority and they should be consulted on any proposals.

If there are any buildings on the development that are over 11 metres in height (excluding blocks of flats) not fitted with fire mains, then aerial (high reach) appliance access is required, the details of which can be found in the attached document.

[Following re-consultation and further discussion July 2021]:

I'm satisfied with the interpretation detailed [that as the development will comprise flats, the Fire Service would automatically be consulted through the Building Regulation process]. It's appreciated that sprinklers will be mentioned as an informative in the decision notice, due to Fire Service access constraints being identified at planning stage. This matter should then also be picked-up by the Fire Service during statutory consultation under building control.

Middle Level Commissioners

5.3 No comments received

Cambridgeshire County Council Highways Authority

5.4 [Originally commented]:

What is the existing use classification of the various parts of the building? Given there appears to be zero parking for the existing use, the applicant should assess the existing demand for off road parking and consider any additional/net impact in respect of the development parking demand. The proposed residential use should provide the following parking to comply with FDC parking policy;

2xHouses x2bed = 4 parking spaces

6 flats 4x 1bed and 2x2bed = 4x1.25 + 2x1.5 = 8 parking spaces

Any increase or demand for vehicle parking should be fully considered by the applicant. A parking beat survey may be useful evidence to assess whether there is alternative parking available within walking distance of the application site. I note the objection raised by Town Council and their parking concerns.

The communal area to the front is likely to be used by residents for parking. If this is accepted by FDC as a suitable zero parking development, then vehicular access to the communal area should be prevented and restricted to pedestrian and cyclist movements only. I suggest secure cycle storage/parking provision is provided within this communal area. This will encourage low car ownership within the development. Allowing the communal area to be used for parking could result in a free-for-all between occupants of the development which in turn could result in abortive manoeuvres and a safety issue at the access.

Defer for additional information/amended plans.

[Following parking survey undertaken by applicant March 2021]:

Accept there are car parks and available kerb-side parking within walking distance of the development. Your authority just needs to be mindful of parking displacement problems and the extra demand for public car parks caused by this type of development.

The agent does not mention the area to front of the building being used as a parking area. This could become a free-for-all parking area that could result in problems for the occupants. It is unlikely that this would result in a highway safety problem given its town centre location. What are your thoughts on this? If the applicant intends to make this pedestrian access only, then they should remove the dropped kerb and replace with footway construction.

[Following amended plans July 2021]:

The applicant has satisfactorily addressed the parking/highway concerns I raised in previous consultation responses.

I have no highway objections subject to details of the cycle parking being provided i.e. cycle parking provision of 'x' Sheffield stands with secure and sheltered parking provision.

Chatteris Past, Present & Future

- 5.5 *Although it is not a listed building, the former chapel is an important non-designated heritage asset within the Chatteris Conservation Area. As such, I believe that the civic society should have been notified of this application as a consultee and that the conservation officer should be asked to provide remarks.*

I see that neither are on the consultee list that was published today. I'm happy to say that the civic society is now aware of it, but I am concerned that the conservation officer might not be in absence of notification.

Conservation Officer (FDC) (summarised)

- 5.6 [Originally commented]:

Amendments should be made to the design in order reduce the impact on both buildings and take account of its character and interest. This in turn will enhance the character and appearance of the conservation area by promoting good design. Clarification should be provided as to the impact on the timber ceiling. It may be

that a reduction in the number of units will provide easier solutions to this as well as to potential amenity and fire safety issues. Fabric should be re-used and salvaged where possible. If upvc products are employed for windows and doors, these should be foil-finished/wood grain effect, which are an improvement on those currently in situ and those proposed.

[Following amended plans July 2021];

There is no objection to this application.

The front elevation will now remain unaltered, and a boundary wall with railings will be introduced to the front boundary. There would be the introduction of 2 doors to the south side elevation and frosted glazing, and one window and four roof lights to the extended element. These are minimal interventions and given the retention of details to the front elevation now, acceptable in terms of bringing this building back into a viable use.

To the rear elevation it is proposed to replace two of the windows with French doors in a style to match the existing with a further door leading out from the utility. It seems likely that these will be replaced with UPVC doors and given that these are the only remaining original fenestration, their loss would be a real shame. Furthermore, given the style of uPVC doors and windows employed and proposed elsewhere in the building, they are likely to detract from the building. It is also proposed to install two windows to the upper floor of the main body of the chapel at this rear elevation and once again they are not of a style sympathetic to the character of the building. A link will be constructed to connect the main building with the school/storeroom and so bring this area into use as residential accommodation and the original door and window arrangement will now be retained and accommodated within the proposed floor layout.

Where timber windows survive to the rear of the building, they should be retained and the proposed new doors to the rear elevation should be in timber, and in keeping with the existing fenestration. The proposed new doors to the south elevation should also be in timber or of a style more in keeping with the character of the building.

Conditions suggested to secure details of;

- Product details for all new windows and doors
- Samples of materials for the extension and boundary walls/ railings

Environment & Health Services (FDC)

5.7

[Originally commented];

The Environmental Health Team have read the submitted information and have 'No Objections' to the proposed conversion as it is unlikely to affect the noise climate, air quality or be affected by ground contamination.

The application seeks to convert a former chapel into residential living accommodation comprising separate living units. When converting a period property into separate dwellings the developer should have regard to the sensitive end use and therefore, as part of the overall design and fabrication of the conversion, suitable sound insulation and ventilation provision should be addressed to achieve an acceptable living environment.

The applicant should therefore ensure that all relevant materials to be used for the conversion offer the enhanced level of both noise and ventilation provision required for a future living space.

[Following amended plans July 2021]:

The Environmental Health Team have read the additional information submitted in support of this application and have no adverse comments to make following our earlier consultation of 22nd December 2020.

In our last consultation we advised that we had 'No Objections' to the proposed conversion as it was unlikely to affect the noise climate, air quality or be affected by ground contamination.

The proposed conversion involves the creation of residential living accommodation from a former chapel. As advised in our earlier consultation, converting period structures originally intended for non-sensitive use into residential dwellings, will require greater levels of sound insulation and ventilation to be included during the design and development stages. So that an acceptable living environment can be achieved, the applicant should ensure such provision is included in this scheme and ensure it complies with current building regulations.

Local Residents/Interested Parties

5.8 3 letters of objection received from 2 residents; at 74 High Street, and 13 West Park Street, raising the following concerns;

- Access
- Anti Social behaviour
- Devaluing property
- Overlooking/loss of privacy
- Parking arrangements – adverse highway impacts, poor public transport
- Proximity to property
- Waste/Litter

N.B. 1 of the residents did raise positive comments in respect of the re-use of the building and retention of character notwithstanding their concerns.

6 STATUTORY DUTY

- 6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014).
- 6.2 Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 require Local Planning Authorities when considering development to pay special attention to preserving a listed building or its setting and to the desirability of preserving or enhancing the character or appearance of a conservation area.

7 POLICY FRAMEWORK

- 7.1 National Planning Policy Framework (NPPF)

Paragraph 2: Applications must be determined in accordance with the development plan unless other material considerations indicate otherwise

Paragraph 11: Presumption in favour of sustainable development.

- Paragraph 194: Need to describe the significant of affected heritage assets
- Paragraph 197: LPA should consider sustaining and enhancing heritage assets (HA) and putting them to viable uses, the positive contribution HA can make to sustainability communities including economic viability
- Paragraph 199: Weight should be given to the significance of the heritage asset, the more important the asset the greater the weight
- Paragraph 202: Where a development proposal causes less than substantial harm to a heritage asset this harm should be weighed against the public benefits, including securing its optimum viable use.

7.2 National Planning Practice Guidance (NPPG)

Use of Planning Conditions

7.3 National Design Guide, 2019 & National Model Design Code, 2021

Context

Identity

Built Form

Movement

Nature

Public Spaces

Uses

7.4 Fenland Local Plan 2014 (FLP)

LP1: A Presumption in Favour of Sustainable Development

LP2: Facilitating Health and Wellbeing of Fenland Residents

LP3: Spatial Strategy, the Settlement Hierarchy and the Countryside

LP4: Housing

LP14: Responding to Climate Change and Managing the Risk of Flooding in Fenland

LP15: Facilitating the Creation of a More Sustainable Transport Network in Fenland

LP16: Delivering and Protecting High Quality Environments across the District

LP18: The Historic Environment

LP19: The Natural Environment

7.5 Supplementary Planning Documents/Guidance:

- Delivering & Protecting High Quality Environments in Fenland SPD (2014)
- FDC Developer Contributions SPD (2015)
- Resource Use & Renewable Energy SPD (2014)
- Cambridgeshire Flood & Water SPD (2016)
- RECAP CCC Waste Management Design Guide SPD (2012)

8 KEY ISSUES

- **Principle of Development**
- **Impact on the historic environment**
- **Access and Layout**
- **Highways and parking**
- **Residential Amenity**
- **Other matters**

9 ASSESSMENT

Principle of Development

- 9.1 Policy LP3 sets out the spatial strategy for the district, identifying Chatteris and the 3 other market towns the main focus for growth. The site lies within the settlement of Chatteris and therefore benefits from good links to the town's services and facilities. Notwithstanding this, the effective re-use of land and buildings is encouraged both through local and national planning policy.
- 9.2 In this regard therefore, the re-use of the building for residential use is supported in principle.

Impact on the historic environment

- 9.3 The site is identified as a non-designated heritage asset due to its historical connection to the town dating back nearly 200 years as a Baptist Chapel. Whilst some of its originality has been lost, most notably through the introduction of modern uPVC windows, it's general historic character and appearance remains as does its prominence on the streetscene. It is considered therefore that the building makes a positive contribution to the character and appearance of the CA. Policy LP16 seeks to protect and enhance affected heritage assets and their settings commensurate to policy LP18 and the NPPF.

Heritage Statement

- 9.4 Policy LP18 of the FLP sets out that proposals affecting designated or non-designated heritage assets will be required to;
- a) Describe and assess the significance of the asset and/ or setting to determine its architectural, archaeological or historic interest;
 - b) Identify the impact of the proposed works on the special character of the asset; and
 - c) Provide clear justification for the works, especially if these would harm the asset or its setting, so that the harm can be weighed against public benefits.
- 9.5 Chapter 16 of the NPPF concerns the conservation and enhancement of the historic environment. In this regard, paragraph 194 follows the above approach of LP18.
- 9.6 The application is accompanied by a planning and heritage statement. The statement identifies the site as lying within the Chatteris Conservation Area ('CA'), however fails to identify the building as a non-designated heritage asset, only that it is not listed. Unfortunately, the statement goes into little detail of the history of the building, only that it ceased to be used a chapel in 1990. The statement concludes that no heritage asset will be affected by the proposal. In respect of the heritage statement therefore it is considered that it fails to accord with the requirements of LP18 and NPPF para. 194.
- 9.7 Notwithstanding this, sufficient detail has been submitted through the plans and through further discussion to enable the LPA to adequately assess the impact of the proposal on the non-designated heritage asset. The applicant has also enabled Officers access to all parts of the building to understand its significance, in the absence of a satisfactory heritage statement.

Alterations and Impacts

- 9.8 The general approach to the development seeks to retain the existing fabric and character, with most alterations affecting the internal fabric/ features. The front boundary wall and general front yard arrangement are considered to be sympathetic to the character of the area and to the proposed use and the applicant has agreed to these changes which will add interest to the streetscene when compared to the current arrangement, whilst accommodation necessary domestic features e.g. bin store, cycle parking etc. It is recommended that specific details of the walls and railings are secured in order to ensure that they are aesthetically acceptable and will enhance the character of the area.
- 9.9 The bulk of the external alterations will occur to the southern flank ground floor, with the addition of entrance doors and 2 first floor windows to the rear elevation and the extension to the link the outbuilding. Much of the amendments will be screened from the streetscene and therefore not immediately apparent when viewed in the context of the CA. Notwithstanding this, the first floor windows are not sympathetic to the character of the heritage asset, particularly in terms of their proportions relative to existing fenestration, and it is recommended that improvements to this aspect are secured through planning condition e.g. details of any soldier course headers, materials and finishes, in order to preserve the character of the building. This is in addition to securing details of all new brickwork and fenestration and doors to the remaining development which again can be reasonably secured through planning condition.
- 9.10 In summary, minimal alterations are proposed to the external character and appearance of the building, particularly when appreciated from the public realm, in the context of the surrounding CA. In this regard, the proposal is considered to preserve the significance of the asset, subject to securing acceptable details of materials, and any new fenestration and doors . Furthermore, the re-design of the front yard area will enhance the general setting of the heritage asset and the character of the wider CA and will more effectively reflect the proposed residential use of the site.

Access, Highways and Parking

- 9.11 The site is accessed solely via the western access, which leads onto individual access doors to the flats and to the rear dwelling. The current layout does enable motor vehicles to enter and park within the area of hardstanding, off the highway. However, due to its limited width (c.9m at its widest), manoeuvring within the site to then exit in forward gear would be constricted and would likely result in users reversing into the highway to leave the site. This poses highway concerns, given the use of the main road along West Park Street, notwithstanding the limited visibility in doing so.
- 9.12 The scheme proposes 6 flats and 1 dwelling which in accordance with the Council's parking standards as set out at Appendix A of the FLP would equate to a need for 11 parking spaces (2 for the dwelling and a total of 8 for the flats which includes visitor parking). The scheme comes forward with a nil parking provision for motor vehicles.
- 9.13 Concerns have been raised by residents, the Town Council and initially by the Local Highways Authority (LHA) regarding the impact arising from the lack of on-site parking. As such and following advice from the LHA, the applicant undertook a parking survey of the area, to establish whether there would be adequate on-street parking to accommodate the needs of the development. The survey was

undertaken at 6.30pm on a Wednesday evening during March and assessed a 100m stretch across the front of the site along West Park Street and identified a number of spaces where parking would be available. The survey also identified 3 car parks within 800m of the site which could also be used.

- 9.14 The LHA has reviewed the survey and considered the impacts of the development on the local highway network and considers that the development would not result in any severe harm in transport terms. They have advised that the LPA should consider parking displacement issues and demands on public car parks.
- 9.15 In this regard, the location of the site is recognised to be within close proximity to the town centre and Chatteris is considered to have relatively good transport links to surrounding settlements. Appendix A of the FLP sets out that developments in a central area of a market town may be acceptable with a limited or, in special circumstances, a nil parking provision. The development is a conversion of an existing building and therefore the scheme is restricted somewhat to the limitations of the existing site conditions. Furthermore, the site benefits from a lawful commercial use and the parking demands placed on such a use must be considered against the likely demands of the residential use, notwithstanding its historic use as a meeting place of worship. Finally, the host building is identified as a non-designated heritage asset and is located within the heart of the Chatteris Conservation Area.
- 9.16 The owner has begun already relocating the business to alternative premises and there is a risk therefore the building may become disused, with potentially limited alternative other uses available due to the existing constraints and the need to preserve its significance. It is in this context that Officers consider that whilst the parking proposals are far from ideal and might be difficult to support in the case of a new-build of such scale, the special circumstances as enabled under Appendix A of the FLP exist, to favourably consider a nil parking provision with this particular development, particularly given the lack of highways concerns and the ability of the development to preserve the special interest of the heritage asset.
- 9.17 Notwithstanding this, the development proposes a secure cycle storage area within the envelope of the building and a further area for visitors to store bikes (which could even include motorbikes). Whilst further details on the latter are recommended to be secured through planning condition, the internal cycle store would enable secure storage of bikes for occupiers and meets with the policy aims of encouraging non-car modes of travel under FLP policy LP15.

Residential Amenity

Existing neighbours

- 9.18 The neighbour immediately adjacent to the north (no.13) has raised concerns over the potential risk of overlooking from the 14 windows that face out onto their rear garden. Furthermore, it is noted that views south over rear gardens are also achievable albeit more so from 1st floor windows than from ground floor.
- 9.19 The applicant has responded to these concerns by proposing to obscure glaze all north facing windows at ground floor level and to obscure glaze all first floor windows up to 1.7m from finished floor level. The resident however has also raised concerns that these windows are top-openable and therefore future occupiers could peer over the transom of open windows and down into the private amenity space of the neighbour.

9.20 As a starting point, it is noted that under schedule 1, Part 1, Class A of the current Town and Country Planning (General Permitted Development) Order ('GPDO'), new openings for 1st floor windows on side elevations can be installed, provided they meet with the condition that they are obscure glazed and non-openable below a height of 1.7m from floor level. This is considered to set a benchmark of standard approach to assessing the appropriateness of other such similar scenarios where overlooking is concerned. In this regard, the heights of the openable part of the windows versus the internal finished floor levels has been carefully considered as follows;

Ground floor north elevation

The windows along this elevation are set c.1m above the internal finished floor level, with the horizontal transom at 1.9m from anticipated finished floor level. All windows are understood to be top-opening above the transom and fixed below which would therefore exceed the requirements otherwise set out under current GPDO requirements. Furthermore, the applicant originally proposed to fully obscure these windows which includes 3 bedroom windows, 2 bathrooms and a kitchen and dining room. In respect of the bedroom and kitchen/ Dining windows, to fully obscure these windows may result in an oppressive environment for future occupiers. Furthermore, it was not considered necessary to obscure glaze the upper part of these windows above the transom line having regard to their height and the GPDO benchmark. As such officers have sought to amend these windows and recommended that the obscure glazing should remain on all bedroom, kitchen and dining room windows below the transom line with full obscure glazing to the bathroom windows. The obscure glazing proposed to the rear garden room and utility serving the house is acceptable.

Ground floor south elevation

Views from these windows are restricted by the existing boundary treatment and therefore it is considered that no mitigation is necessary.

First Floor North and south elevation

The glazing to these windows has been amended to ensure that obscure glazing exists on all windows up to 1.7m from finished floor level. However, it is recognised that the taller windows serving flat 6 would be openable below the aforementioned benchmark of 1.7m height. In this regard, the applicant has agreed in principle to incorporate window restrictors to relevant windows – which would limit the views downwards from these windows thereby protecting privacy. As these windows are not necessary for fire egress, this is considered to be an acceptable solution and specific details of how this will be achieved can be reasonably secured through planning condition.

House rooflights

The rooflights serving the upper floor of the house at the rear are positioned over 1.7m from floor level and therefore will not achieve overlooking to adjacent properties.

Future Occupants

9.21 It is acknowledged that in order to protect amenity of adjacent neighbours, it has been necessary to obscure glaze the lower part of windows serving the development or utilise existing boundary treatments at close proximity. This will limit outlook from these windows, with longer range views only achievable through the upper half of windows serving habitable rooms in most cases. Whilst this is a

limitation of the scheme, given that natural daylight is able to enter from north and south windows and that high level outlook is achievable, this is considered to be acceptable in this scenario having balanced this slight limitation against the benefits of bringing forward a heritage asset into an effective use, and housing delivery in a sustainable location.

- 9.22 In summary, it is considered that the scheme would provide satisfactory living conditions for future occupiers and would not compromise the amenity of existing residents e.g. through overlooking or overbearing in accordance with policies LP2 and LP16 of the FLP.

Other matters

Fire Access

- 9.23 Concerns have been raised over the adequacy of access for the Fire and Rescue service. The scheme is limited in terms of access options in this regard, relying on a c.0.9mwide side passage to access the entrance doors to the flats and the rear dwellinghouse. Officers have discussed this in detail with Cambridgeshire Fire and Rescue who have advised that due to the scheme being for flats, they would automatically be consulted on and feed into the development through the Building Regulations process and are satisfied that a suitable scheme could be achieved, noting the applicant's intention to install a sprinkler system.
- 9.24 In this regard, this aspect would be controlled through a regulatory regime outside of the planning system. The PPG sets out that the planning system should not seek to impose controls (i.e. via conditions) where compliance with other regulatory regimes is otherwise required (Planning Practice Guidance: Paragraph: 005 Reference ID: 21a-005-20190723). As such, it is not necessary to seek to control this element through any planning decision. Notwithstanding this, it would be recommended to insert an informative on any grant of planning permission for this scheme alerting the developer to the need to engage the Fire and Rescue Service through the Building Regulations process.

Waste/Litter

- 9.25 Waste produced and removed off-site during the construction of the development would be controlled under license through the Environment Agency. The District Council has a statutory duty to collect household waste and the layout demonstrates that adequate household waste collection arrangements would be provided. The scheme is considered to achieve policy compliant arrangements for household waste collection.

Anti-Social Behaviour (ASB)

- 9.26 One resident has raised concerns over ASB, although it is unclear as to the specific concern in this regard. The scheme is for residential development of an existing building and it is not considered that the nature, scale and design of the development would attract any significant ASB issues.

Devaluing of property

- 9.27 The planning system does not exist to protect private interests such as value of land or property and as such no weight can be afforded to this concern.

10 CONCLUSIONS

10.1 The scheme would bring back in to use a currently semi-vacant building which would assist in preserving the structure, which is of historical interest due to its social and architectural significance in the Chatteris Conservation Area. The site is sustainably located and therefore appropriate for residential use. Such use would provide a positive contribution to Chatteris' housing need and would not compromise the residential amenity of adjacent neighbours or of future occupiers of the development.

10.2 The scheme comes forward with no on-site parking and this will have some negative impact due to further cars parking on the highway, albeit the LHA has not indicated that this would lead to any severe harm on the highway network. Whilst this weighs against the scheme, it is considered that the benefits of bringing this building into residential use and the ability of the development to preserve the special interest of the heritage asset and the character of the CA outweighs this limitation. On balance therefore, the scheme is considered to comprise sustainable development and is therefore recommended for approval.

11 RECOMMENDATION

11.1 Grant subject to the following conditions;

1	The development permitted shall be begun before the expiration of 3 years from the date of this permission.
2	<p>The development shall utilise restricted opening mechanisms on the first floor windows serving flats 5 and 6 in accordance with details to be submitted to and agreed in writing by the Local Planning Authority.</p> <p>The agreed details shall be implemented prior to the first occupation of the development and thereafter retained in perpetuity.</p> <p>Reason: in the interests of residential amenity in accordance with policy LP16 of the Fenland Local Plan, 2014.</p>
3	<p>Notwithstanding the approved plans, full details of the dimensions and external finishes of all new windows and doors proposed to the dwellinghouse shall be submitted to and agreed in writing by the Local Planning Authority.</p> <p>The development shall be carried out in accordance with the approved details.</p> <p>Reason: In the interests of preserving the historic character of the building in accordance with policies LP16 and LP18 of the Fenland Local Plan, 2014.</p>
4	<p>Notwithstanding the approved plans, details of the paviours, facing brick and railings for all new walls and surfacing shall be submitted to and agreed in writing by the Local Planning Authority.</p> <p>The development shall be carried out in accordance with the approved details.</p> <p>Reason: In the interests of visual amenity and to preserve and enhance the character of the Conservation Area in accordance with policies LP16 and LP18 of the Fenland Local Plan, 2014.</p>
5	Prior to the first occupation of the development, the bin store enclosure, hard landscape surfacing and boundary walls and railings to the site frontage shall be provided fully in accordance with the details approved.

	<p>Reason: In order to ensure that occupiers are supported by appropriate means of access, refuse storage and means of enclosure in accordance with policies LP15 and LP16 of the Fenland Local Plan, 2014.</p>
6	<p>Full details of the visitor bike store as denoted under plan 20-P35-PL006E shall be submitted to and approved in writing by the Local Planning Authority</p> <p>The development shall be carried in accordance with the approved details prior to the first occupation and thereafter retained and maintained in perpetuity.</p> <p>Reason: In order to ensure a satisfactory means of visitor parking by non-car modes of travel is provided in accordance with the sustainable transport aims of policy LP15 of the Fenland Local Plan, 2014.</p>
7	<p>Notwithstanding the approved plans, all windows serving the flats on the ground floor and first floor northern flank wall and the first floor southern flank wall, and the ground floor windows serving the ground floor northern flank wall of the dwellinghouse shall be obscure glazed to a height no lower than 1.7m from finished floor level. The level of obscurity shall be submitted to and agreed in writing by the Local Planning Authority.</p> <p>The windows shall be finished in accordance with the details agreed prior to the first occupation of the development and thereafter retained to that specification in perpetuity.</p> <p>Reason: In the interests of residential amenity in accordance with policy LP16 of the Fenland Local Plan, 2014.</p>
8	<p>All soft landscape works shall be carried out in accordance with the approved details. All planting seeding or turfing and soil preparation comprised in the landscaping shall be carried out in the first planting and seeding seasons following the occupation of the buildings, and any plants which within a period of five years from the completion of the development die, are removed or become seriously damaged or diseased (except those contained in enclosed rear gardens to individual dwellings) shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written consent to any variation. All landscape works shall be carried out in accordance with the guidance contained in British Standards, unless otherwise agreed in writing by the Local Planning Authority.</p> <p>Reason: To ensure proper implementation of the agreed landscape details in the interest of the amenity value of the development in accordance with Policy LP16 and LP19 of the Fenland Local Plan 2014.</p>
9	<p>Notwithstanding the provisions of the Town & Country Planning (General Permitted Development) (England) Order 2015, (or any Order or Statutory Instrument revoking and re-enacting that Order with or without modification), planning permission shall be required for the following developments or alterations:</p> <ul style="list-style-type: none"> i) the erection of house extensions including conservatories, garages, car ports or porches (as detailed in Schedule 2, Part 1, Classes A and D); ii) alterations to or the installation of additional windows or doors, including dormer windows or roof windows (as detailed in Schedule 2, Part 1, Classes A and B); iii) alterations to the roof of the dwellinghouse (as detailed in Schedule 2, Part 1, Class C);
10	<p>The bike store as detailed on plan reference: 20-P35-PL003F shall be provided prior to first occupation of the development and thereafter retained for the benefit</p>

	<p>of residents of the associated flats and for no other purpose.</p> <p>Reason: In order to provide a secure area for residents' bikes in the interests of promoting sustainable modes of travel in accordance with policy LP15 of the Fenland Local Plan, 2014.</p>
11	<p>No external meter boxes shall be installed to the frontage of the building without the details first being submitted to and agreed in writing by the Local Planning Authority.</p> <p>Any such meter boxes shall thereafter be installed strictly in accordance with the details approved.</p> <p>Reason: In the interests of preserving the historic character of the building in accordance with policies LP16 and LP18 of the Fenland Local Plan, 2014.</p>
12	Approved Plans:



Created on: 07/12/2020

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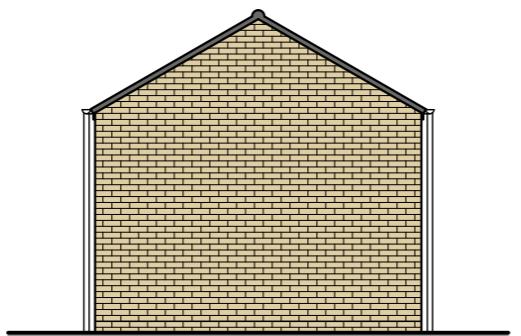
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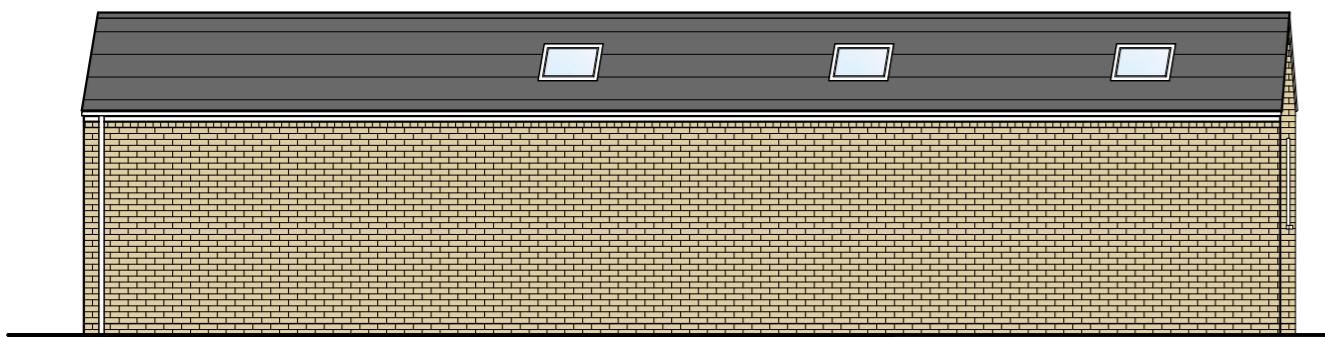




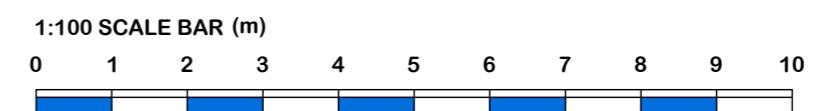
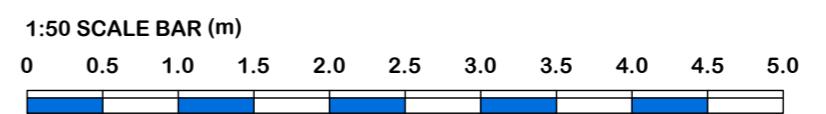
PROPOSED FRONT ELEVATION
SCALE: 1:100



PROPOSED SIDE ELEVATION
SCALE: 1:100



PROPOSED REAR ELEVATION
SCALE: 1:100



Notes:

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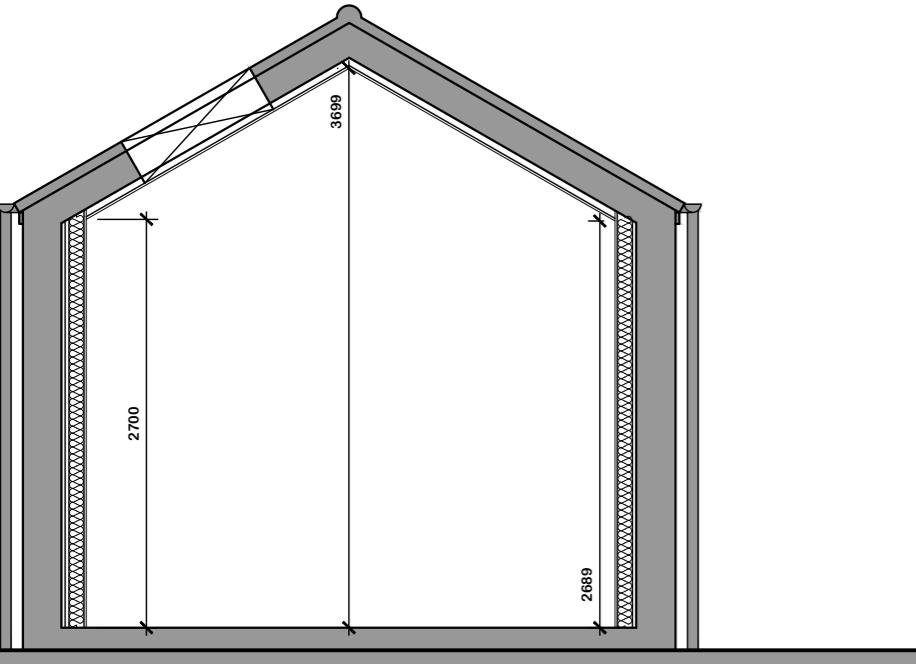
Architectural design has been carried out with due consideration for the safety during construction, occupation and maintenance of the finished structure.

The works contain no extraordinary hazards or risks that are not present during routine construction operations that would not readily be apparent to a competent contractor.

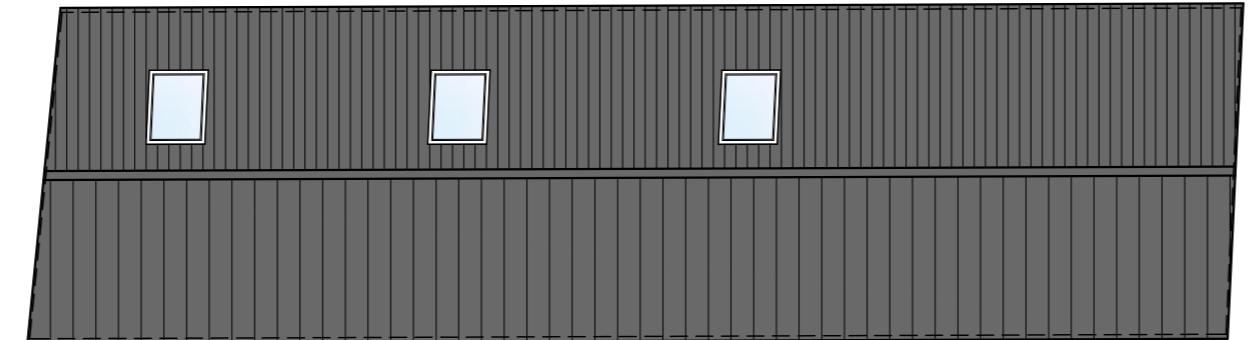
This information should be included as part or commencement of the Health and safety file for the project.

Finishes Legend

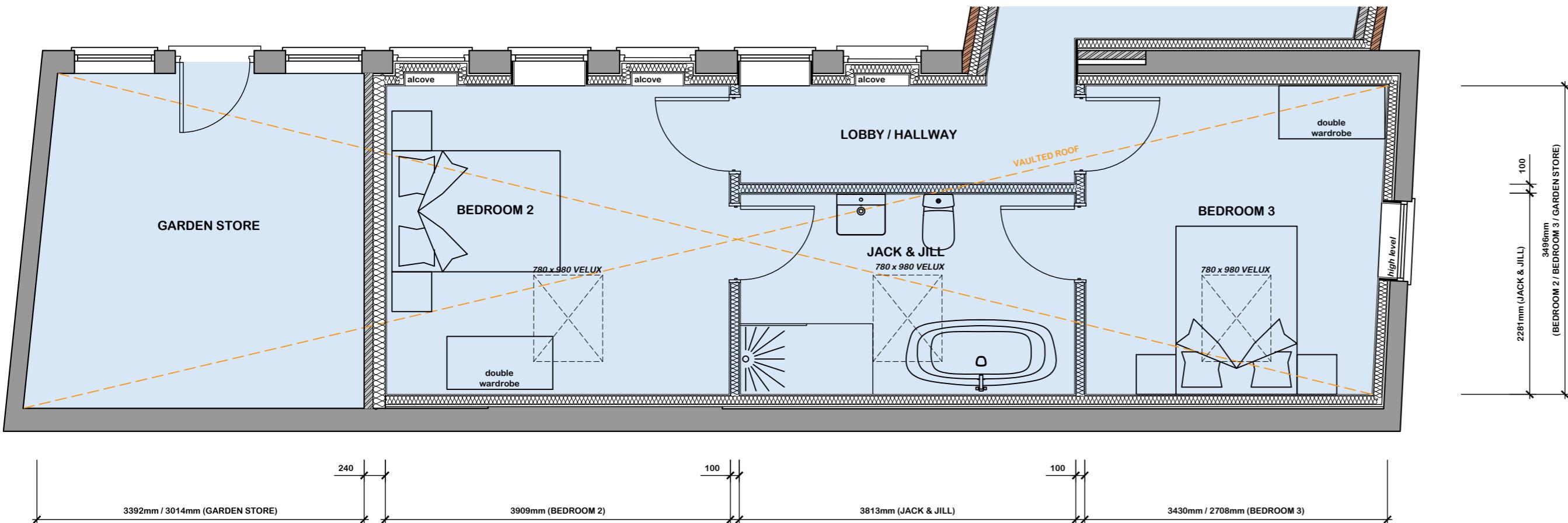
- BRICKWORK STYLE AND COLOUR TO MATCH EXISTING
- ROOF TILES: TO MATCH EXISTING
- WINDOWS & DOORS: COLOUR & MATERIAL TO MATCH EXISTING
- RAIN WATER GOODS: COLOUR & MATERIAL TO MATCH EXISTING



PROPOSED TYPICAL SECTION
SCALE: 1:50



PROPOSED ROOF PLAN
SCALE: 1:100



C	22.02.2021	UPDATED TO SUIT CLIENTS COMMENTS
B	22.02.2021	UPDATED TO SUIT PLANNERS/CLIENTS COMMENTS
A	20.11.2020	FLOOR PLAN UPDATED & NOTE SECTION UPDATED
no	date	amendment description

Revisions

Drawing Status: **PLANNING**



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Project Title:

MRS. DAVIS
WEST PARK STREET,
CHATTERIS,
CAMBS,
PE16 6AL

CONVERSION OF EXISTING STORE/ SHOW ROOMS
TO 7no RESIDENTIAL DWELLING

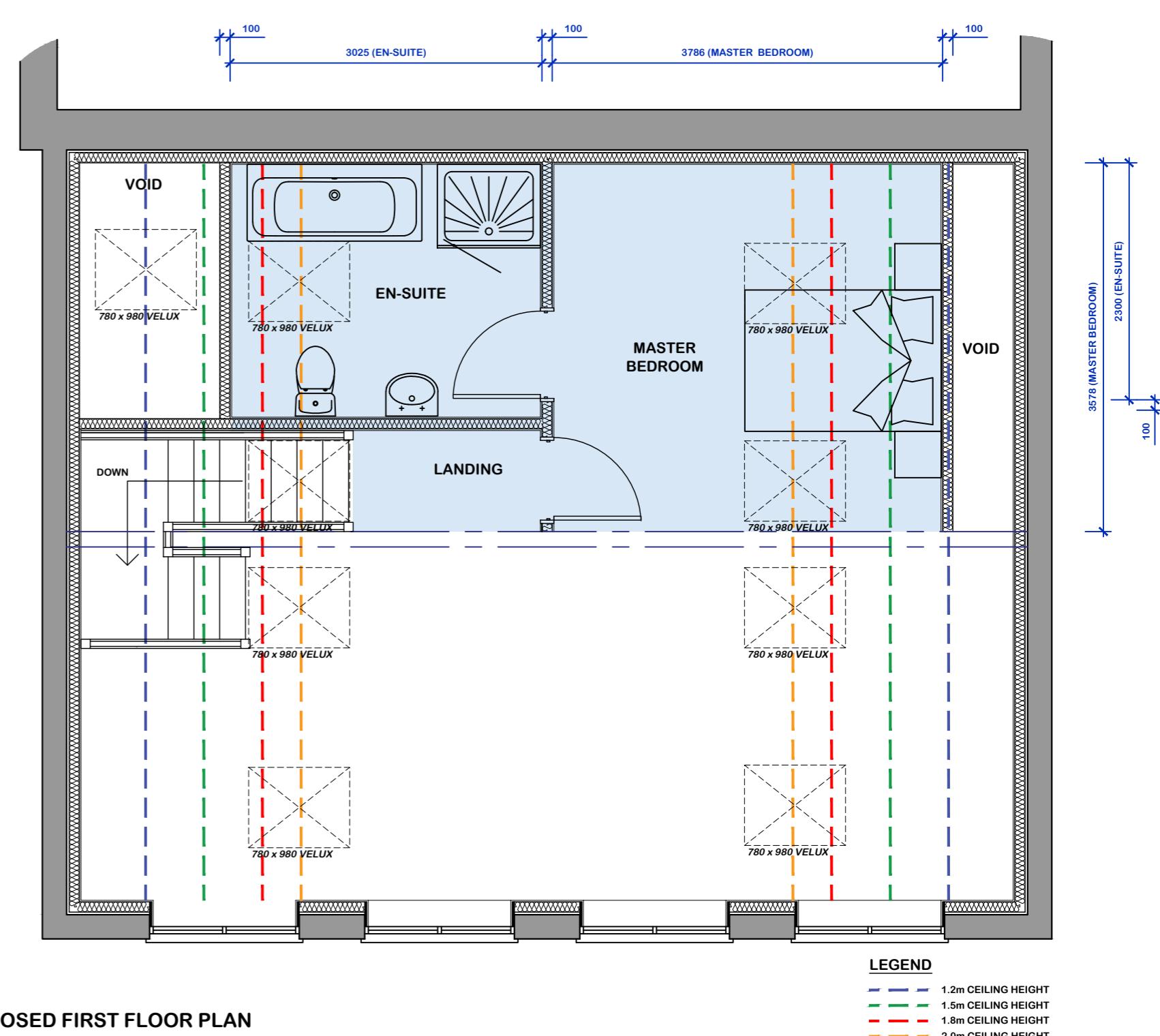
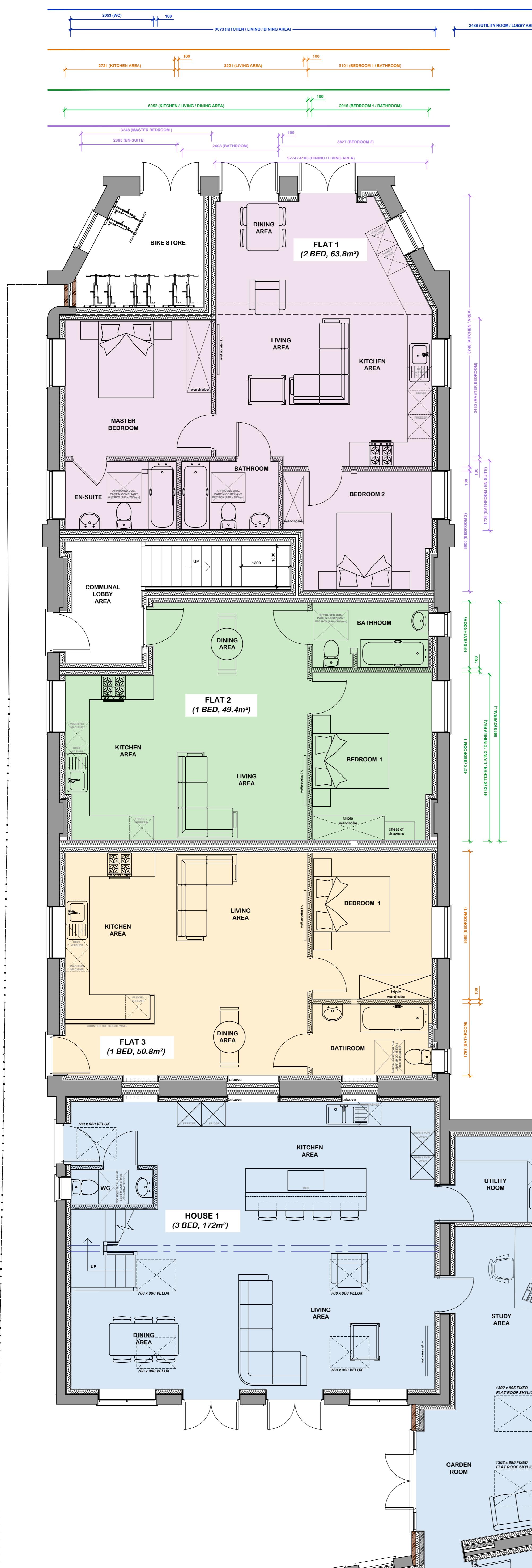
Drawing Title:
**PROPOSED PLANS AND ELEVATIONS
HOUSE 1**

Scale: Date: Drawn:
AS STATED @ A2 OCTOBER 2020 AP

Drawing Number: Revision:
20-P35-PL005C

Checked by: *Tom Nellist* Date: 02.03.2021

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F	01.03.2021	UPDATED TO SUIT CLIENTS COMMENTS
E	01.03.2021	UPDATED TO SUIT CLIENTS COMMENTS
D	23.02.2021	UPDATED TO SUIT CLIENTS COMMENTS
C	22.02.2021	UPDATED TO SUIT CLIENTS COMMENTS
B	22.02.2021	UPDATED TO SUIT PLANNERS/CLIENTS COMMENTS
A	20.11.2020	FLOOR PLAN UPDATED & NOTE SECTION UPDATED
no date		amendment description

Rewards

Drawing Status: **PLANNING**

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Project Title:
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CHATTERIS,
CAMBS,
PE16 6AL

CONVERSION OF EXISTING STORE/SHOW ROOM
TO 7no. RESIDENTIAL DWELLINGS

Drawing Title:
PROPOSED GROUND FLOOR PLAN
3no. FLATS & 1no. DWELLING

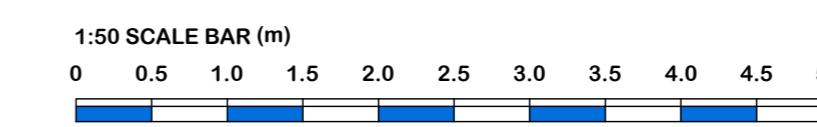
Scale: Date: Drawn:
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Drawing Number: Revision:

Checked by: **Tom Nellist** Date: 02.03.2021

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20-P35-PL003F





PROPOSED FRONT ELEVATION

SCALE: 1:100

Finishes Legend	
BRICKWORK: STYLE AND COLOUR TO MATCH EXISTING	
ROOF TILES: TO MATCH EXISTING	
WINDOWS & DOORS: TO BE UPVC & COLOUR TO MATCH EXISTING	
RAIN WATER GOODS: COLOUR & MATERIAL TO MATCH EXISTING	
FASCIA BOARDS: TO BE UPVC & COLOUR TO MATCH EXISTING	
BRICKWORK: STYLE & COLOUR TO MATCH EXISTING	
ANTHRACITE HORIZONTAL TIMBER CLADDING	



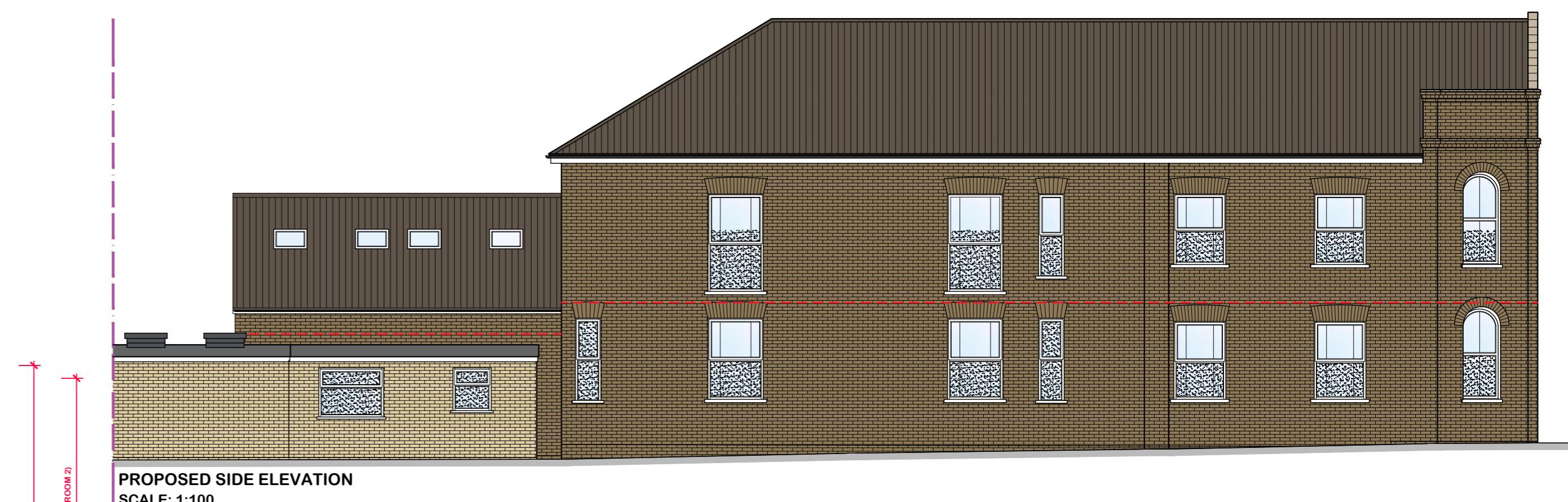
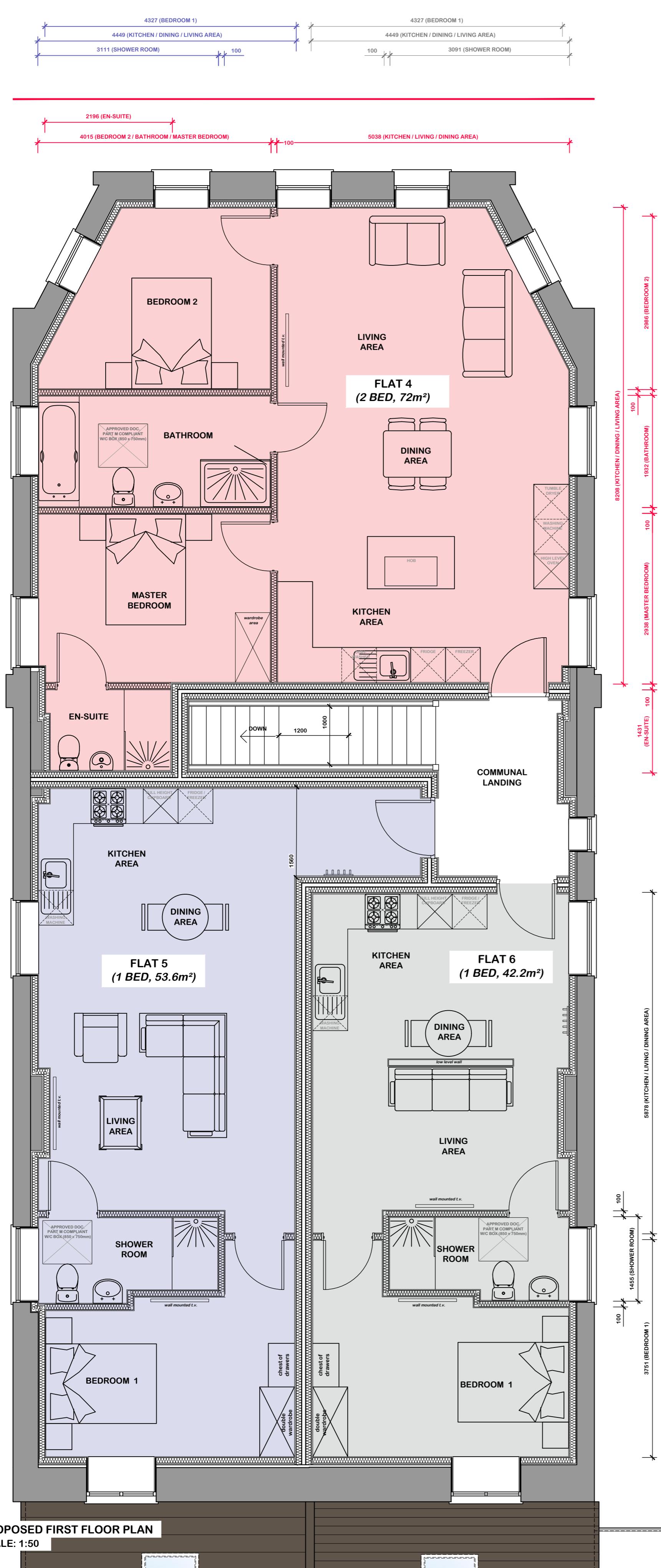
PROPOSED SIDE ELEVATION

SCALE: 1:100



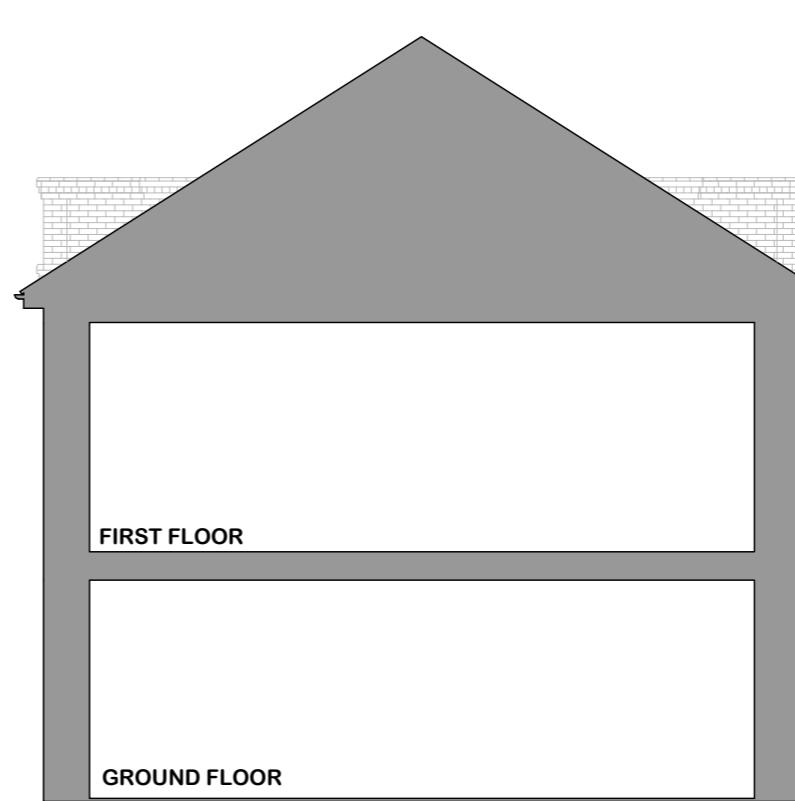
PROPOSED REAR ELEVATION

SCALE: 1:100

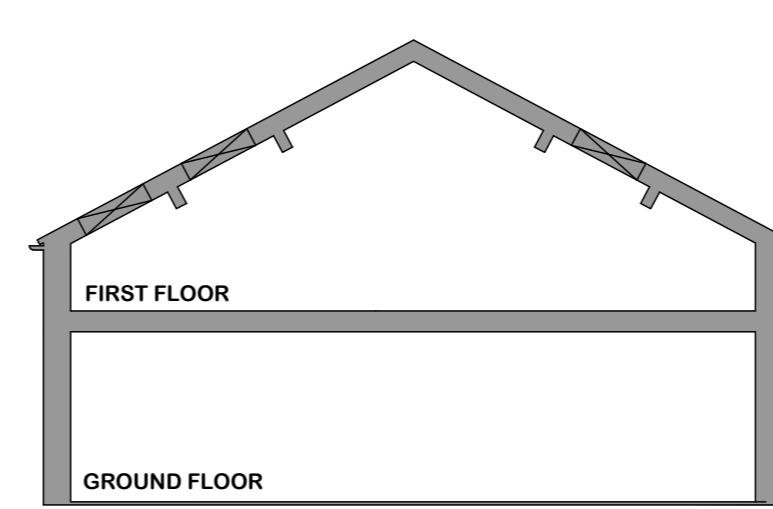


PROPOSED SIDE ELEVATION

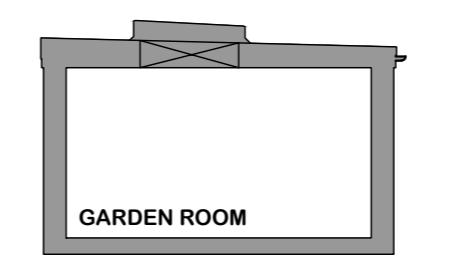
SCALE: 1:100



PROPOSED TYPICAL SECTION
SCALE: 1:100



TYPICAL SECTION - HOUSE 1
SCALE: 1:100



PROPOSED TYPICAL SECTION
SCALE: 1:100

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G	30.07.2021	OBSCURED GLAZING UPDATED
F	07.07.2021	FLAT NUMBERING UPDATED
E	10.06.2021	HIT & MISS FENCE UPDATED AS PER PLANNERS COMMENTS
D	25.05.2021	UPDATED TO SUIT CLIENTS COMMENTS
C	01.03.2021	ELEVATIONS UPDATED TO SUIT CLIENT COMMENTS
B	22.02.2021	ELEVATIONS UPDATED TO SUIT PLANNERS/CLIENTS COMMENTS
A	20.11.2020	ELEVATIONS UPDATED & NOTE SECTION UPDATED
no date		amendment description

Rewards

Drawing Status: **PLANNING**

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Project Title:
MR S. DAVIS
WEST PARK STREET,
CHATTERIS,
CAMBS,
PE16 6AL

CONVERSION OF EXISTING STORE/SHOW ROOM
TO 7no. RESIDENTIAL DWELLINGS

Drawing Title:
**PROPOSED FIRST FLOOR PLAN (DWELLINGS 4-6),
ELEVATIONS & ROOF PLAN**

Scale: Date: Drawn:
AS STATED @ A1 OCTOBER 2020 AP

Drawing Number: Revision:
20-P35-PL004G

Checked by: Date:

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1:100 SCALE BAR (m)
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